
More than Meets the Eye-

An Introduction to Design Guidelines

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Georgia Chapter of the American Planning Association

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OUTLINE-

1. Purposes & Principles-

When and Why should you consider design guidelines?

2. Elements & Examples-

What can design guidelines do for you?

3. Adoption & Administration-

How are guidelines put into practice?

Purposes & Principles

Zoning ordinances establish development procedures and requirements



- Uses (types of development allowed)
- Lot requirements (width, area, setbacks)
- Transitional buffers
- Allowable heights
- Floor area requirements
- Parking requirements
- Landscape requirements
- Other elements to protect health, safety and general welfare

Purposes & Principles

Design guidelines are most often developed to help reinforce or establish a particular design character or quality based on a master plan or other similar initiative.



How do I get from here to there???

Purposes & Principles

<u>Ordinances (Zoning)</u>	<u>Design Guidelines</u>
Black and White	Shades of Gray
Compliance	Flexibility
Establish parameters	Assist decision making
“Must” and “Shall”	“Should”

Purposes & Principles

1. In theory, zoning regulates general practices and design guidelines are created to supplement zoning with more detailed considerations related to the character and appearance of buildings and sites.
2. In practice, design guidelines are often developed to supplement existing regulations AND to overcome challenges associated with outdated zoning codes that are in need of attention.
3. Generally, quantitative minimums and maximums should be regulated through zoning and subjective design characteristics are better illustrated through design guidelines



BROOKHAVEN - PEACHTREE LCI

Prepared For: DeKalb County
 Prepared By: Urban Collage, Inc.
 in association with Grice & Associates and RCLCo.

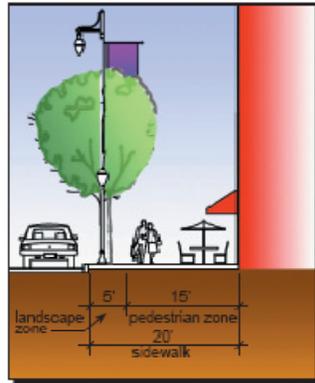


ILLUSTRATIVE PLAN
 FOCUS AREA: BROOKHAVEN MARTA STATION
 Revised January 23, 2006

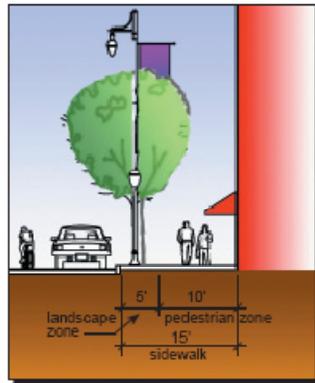




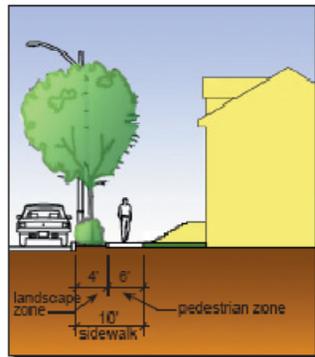
Brookhaven-Peachtree Livable Centers Initiative, DeKalb County, GA



Streetscape 1: Peachtree Road



Streetscape 2: Dresden Dr., North Druid Hills Rd. and Apple Valley between North Druid Hills & Sunland Dr.



Streetscape 3: All other new and existing streets within the Brookhaven-Peachtree Overlay District

7 SIDEWALKS & LANDSCAPE ZONE

Streets and Sidewalks:

- Any new streets shall enhance connectivity within the Peachtree-Brookhaven Overlay District by connecting at least two (2) public streets.
- Sidewalks shall be provided on all streets and shall consist of a landscape zone and a pedestrian zone of widths as provided below.

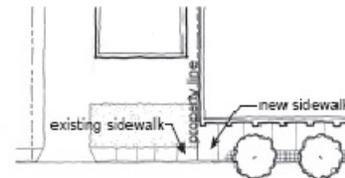
Sidewalk Requirements

Street	Landscape Zone	Pedestrian Zone
Peachtree	5'	15'
Dresden, N. Druid Hills & Apple Valley (between N. Druid Hills & Sunland)	5'	10'
All Others	4'	6'

- Landscape zones shall be planted with grass, ground cover or flowering plants, or consist of brick pavers, concrete pavers or granite pavers where on-street parking is provided or pedestrian crossings and/or congregation is likely. Pedestrian zones shall be paved in concrete and kept clear and unobstructed for the safe and convenient use of pedestrians.

- Pedestrian sidewalk areas paved with materials other than concrete that are consistent in color with concrete sidewalks may be allowed with the approval of the Director of Planning and Development.

- Where newly constructed sidewalks abut existing adjacent sidewalks, the newly constructed sidewalk shall provide safe facilitation of pedestrian traffic flow to adjacent sidewalks. Any development that disturbs existing sidewalks on an adjacent property shall replace disturbed areas to their pre-disturbance state and condition.



- Safe and convenient pedestrian pathways shall be provided from sidewalks along streets to each structure entrance, including pedestrian access routes to parking decks and through parking lots and between adjacent buildings within the same development. All walkways shall be concrete and a minimum width of five (5) feet.

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March 2007

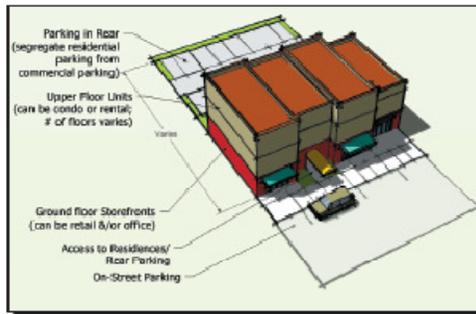




65% of ground-floor facade shall be storefront.



Architectural Features



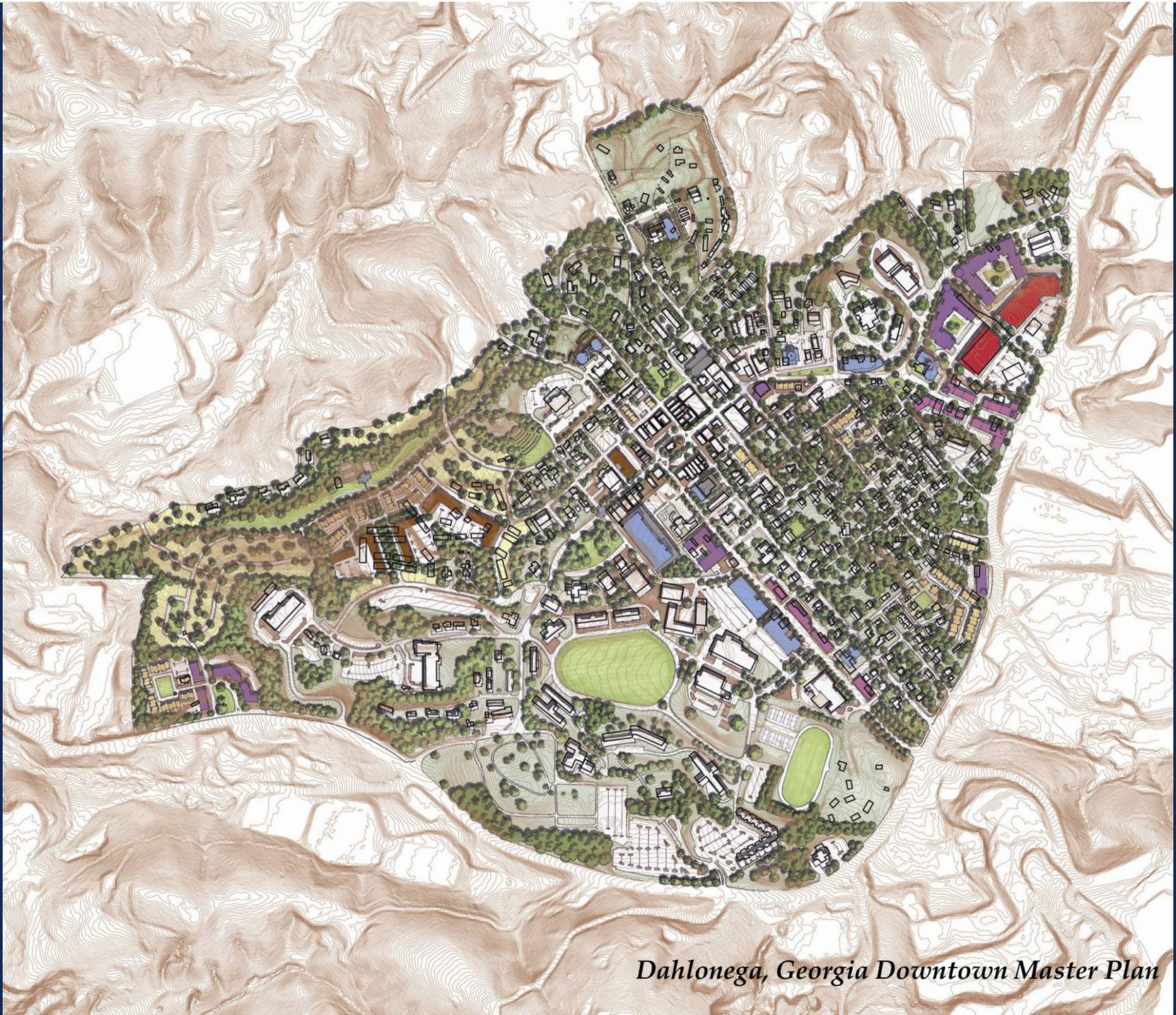
Lot Layout

Development Standards:

- Ground-floor commercial and retail uses shall have entrances at grade opening directly onto the public sidewalk or a public space adjacent to the public sidewalk.
- Canopies over retail and commercial entrances and/or windows shall be mounted at a single consistent height for each building.
- The size of leased commercial space shall vary within each development to allow for a diversity of tenants.
- A minimum of 65% of the ground-floor facade of mixed-use and commercial buildings shall be clear and untinted transparent glass storefront.
- Pedestrian access shall be provided from parking behind buildings to the public sidewalk through the ground floor of the building or via sidewalks between buildings.
- The primary entrance for all upper story uses shall be clearly visible from the street and shall face the street. If a building fronts more than one street, the primary entrance should face the street with the highest classification as follows: Primary: Peachtree Road and Apple Valley Road; Secondary: Dresden Drive, North Druid Hills Road, Hermance Drive, Ashford-Dunwoody Road, Lanier Drive, Osborne Drive, Brookhaven Place; Tertiary: new streets and other existing streets.
- The combined area of any and all signage shall not exceed 10% of the main building facade.

BROOKHAVEN - PEACHTREE DESIGN GUIDELINES





Dahlongega, Georgia Downtown Master Plan



Dahlonaga, Georgia Downtown Master Plan

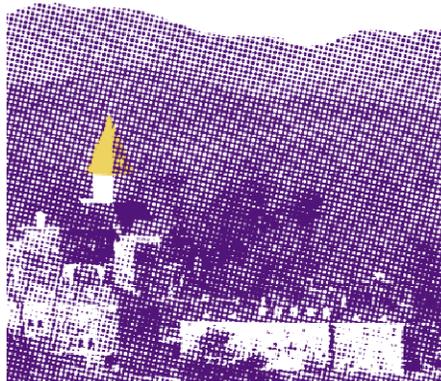
DAHLONEGA DESIGN GUIDELINES



Prepared for the City of Dahlonega and the Downtown Development Authority by Urban Collage, Inc.



AUGUST, 2008



2.3.1 Building Typologies / Locations

Buildings along Memorial Drive

- Buildings should not replicate those on the Public Square. They should strive to synthesize the essence of the historic buildings with a more contemporary aesthetic.
- Buildings should not exceed three stories in height.
- Buildings should align along the back edge of the sidewalk.
- Buildings should follow the characteristics and details exhibited by any one or a combination of the following that are described in Part 1.11 (Historic Building Forms):
 - Victorian Commercial Block
 - Simple Commercial Block
 - Enframed Block
 - Arcaded Block
 - Two Part Commercial Block
- Architecturally prominent buildings should be used to enhance the intersections at either end of Memorial Drive.
- Head-in parking should be provided along Memorial Drive and additional parking should be provided at the rear of the buildings.
- See the Special Provisions section below for additional guidelines for this area.



Storefront



Modern



Possible window detailing



Brick building with cornice det



Masonry building



Wood and masonry building

2.3.2 Street Characteristics

- The guidelines listed below should be used in addition to those listed in Part 1.1 (Streets and Streetscapes) and supersede them when in conflict.
- A furniture/planting zone, minimum 5' wide should be placed adjacent to the street (excepting Enota Street). This should include landscape elements, trees, and benches, light poles, trash receptacles, bicycle racks, etc.

Memorial Drive

- Two-way travel lanes, each +/- 11'-0" wide should be continued from the intersection with East Main Street to Morrison Moore Parkway.
- Head-in diagonal parking should be provided on either side of the street.
- Decorative street lighting should be provided on both sides of the street at a distance of 60' on-center.
- The sidewalk should be 12' wide and includes area for outdoor dining. It should be paved with exposed aggregate or sandblasted concrete.

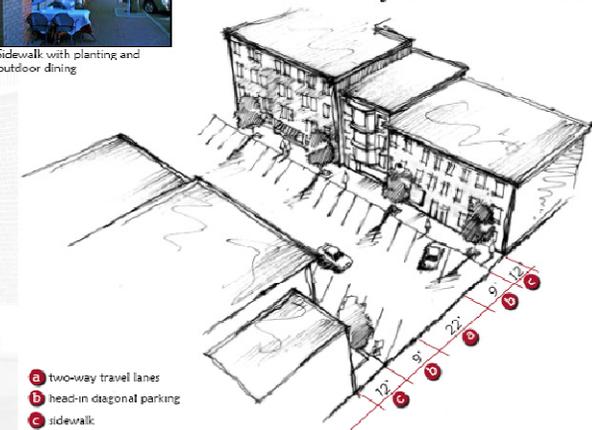


Possible streetscape



Sidewalk with planting and outdoor dining

Figure 2.9: Potential Memorial Drive Section



Elements & Examples

Site Design Elements

- Massing
- Height
- Relationship of Buildings to the Street
- Streets and Sidewalks
- Parking
- Landscaping
- Buffers
- Signage

Architectural Elements

- Building and Roof Forms
- Building Materials and Colors
- Fenestration (doors and windows) and Details

Elements & Examples

Goals

- Provide guidance for new development, re-development, additions, and modifications
- Encourage consistency while providing for appropriate flexibility and variety
- Maintain important contributing properties while encouraging non-conforming development to embrace standards and upgrade to meet the guidelines as soon as feasible

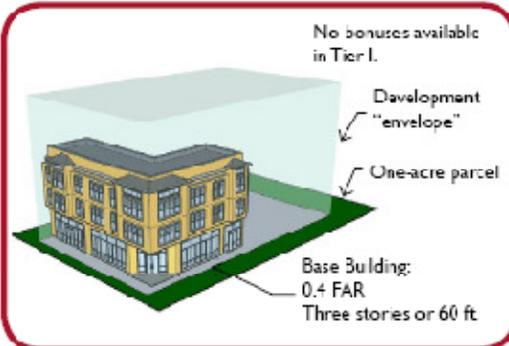
Building Massing

Sample Diagrams.

For a one-acre site, there are a number of strategies for build-out. Depending on the respective Tier and the bonuses achieved through incentives, redevelopment might take the shape of one of the following diagrams.

Understanding the Diagrams.

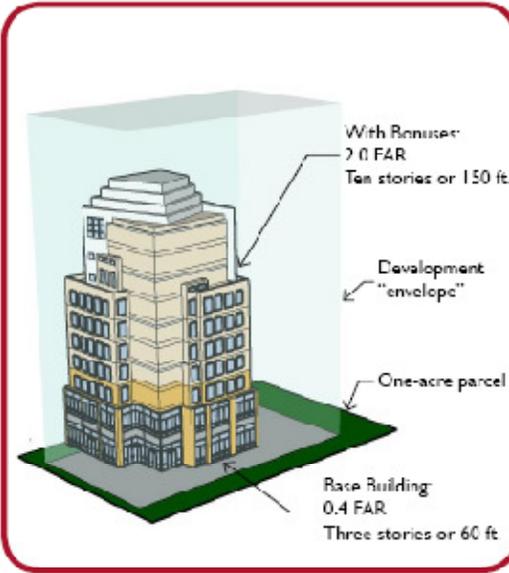
-The green rectangle represents a hypothetical one-acre parcel.
 -The transparent grey "box" represents the maximum "envelope" for development, based on setback requirements and height restrictions.



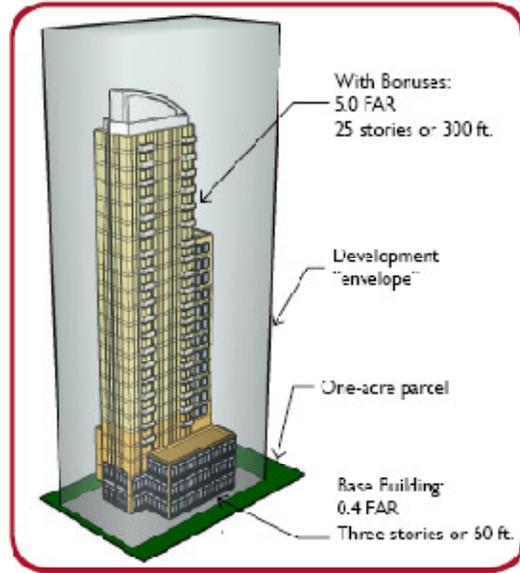
A.10.1. Tier I



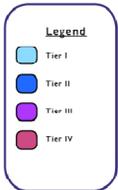
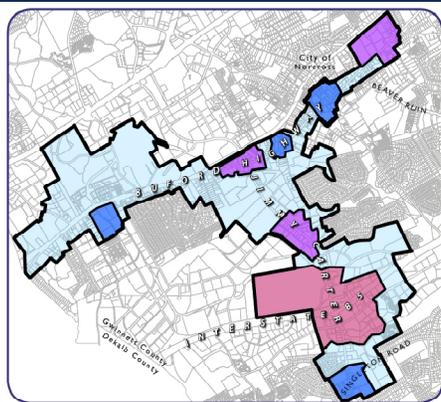
A.10.2. Tier II



A.10.3. Tier III



A.10.4. Tier IV



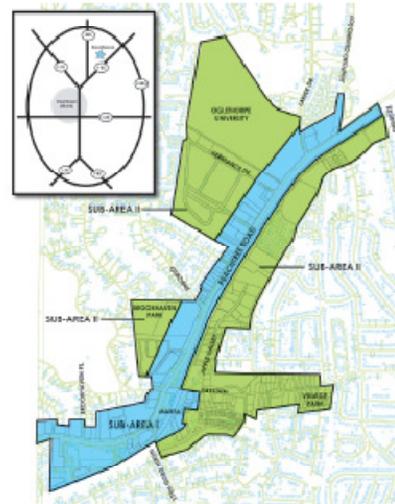
Tier I - Transition
 Serves as a transitional or buffer area between higher-density centers and lower-density areas.
 Maximum Density:
 • Height: 60 ft. or three stories
 • Residential: 13 units/acre
 • FAR: 0.40

Tier II - Neighborhood Center
 The smallest-scale "center". It is more locally-oriented than the larger centers.
 Maximum Density:
 • Height: 80 ft. or five stories
 • Residential: 22 units/acre
 • FAR: 1.00

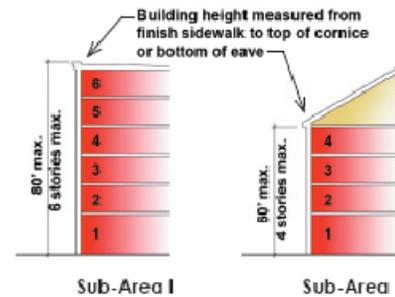
Tier III - Town Center
 Development of this scale draws from outside the district and is a destination within the County.
 Maximum Density:
 • Height: 150 ft. or ten stories
 • Residential: 48 units/acre
 • FAR: 2.00

Tier IV - Regional Center
 The largest type of center found in Gwinnett County. It is a high-density mixed-use area that draws from throughout the metropolitan area and beyond.
 Maximum Density:
 • Height: 300 ft. or 35 stories
 • Residential: 96 units/acre
 • FAR: 5.00

Building Heights



Map of Sub-Areas



Sub-Area I

Sub-Area II

Building Heights:

• Within the Brookhaven-Peachtree Overlay District, there shall be two sub-areas for the purpose of establishing allowable building heights. Sub-area I shall include the area directly surrounding the Brookhaven MARTA station and parcels with frontage along Peachtree Road up to a maximum distance of four hundred forty (440) feet from the Peachtree Road right of way, where the highest intensity development is desired. Sub-area II shall include the remaining area within the Brookhaven-Peachtree Overlay District, including Dresden Drive, North Druid Hills Road and those areas that serve as a transitional edge between high density development surrounding the MARTA transit station and existing single-family neighborhoods. The boundaries of these sub-areas shall be established by a zoning map amendment adopted pursuant to this chapter which amendment shall be incorporated herein and made a part of this Chapter 27.

• All building heights are to be measured from the finished sidewalk to the top of cornice for flat-roofed buildings or the bottom of the eave for sloped roofed buildings along the façade that faces the street with the highest volume of daily traffic. Levels measuring less than six feet in height for the purposes of raising the first floor level above the street level, providing a consistent first floor level, or for the sole purpose of housing mechanical, plumbing or electrical equipment shall not be counted as stories for the purposes of maximum building heights.

• All buildings within the Peachtree-Brookhaven Overlay District shall be a minimum of two (2) stories tall and twenty-eight (28) feet in height.

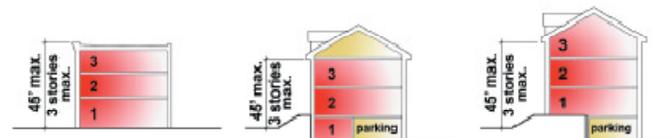
• The maximum building height for buildings in Sub-area I shall be six (6) stories or eighty (80) feet whichever is less, and the maximum building height for buildings in Sub-area II shall be four (4) stories or sixty (60) feet, whichever is less.

• Single-family attached townhomes or live/work units in Sub-area I or Sub-area II shall not exceed three (3) stories or thirty-five (45) feet, whichever is less.

Sub-Area I		
Building Use	Max. Building Height	Max. Building Height with Bonuses
Single-Family Attached	3 stories or 45 feet*	4 stories or 55 feet*
Commercial	6 stories or 80 feet*	7 stories or 90 feet*
Multi-family	6 stories or 80 feet*	8 stories or 100 feet*
Mixed-Use	6 stories or 80 feet*	8 stories or 100 feet*

Sub-Area II		
Building Use	Max. Building Height	Max. Building Height with Bonuses
Single-Family Attached	3 stories or 45 feet*	4 stories or 55 feet*
Commercial	4 stories or 60 feet*	5 stories or 70 feet*
Multi-family	4 stories or 60 feet*	6 stories or 80 feet*
Mixed-Use	4 stories or 60 feet*	6 stories or 80 feet*

* whichever is less



Single-family Attached Townhomes and Live/Work Units

*More than Meets the Eye-
An Introduction to Design Guidelines*

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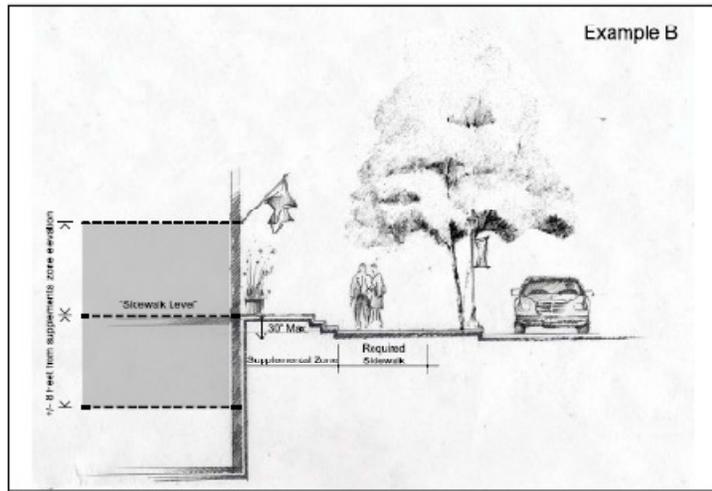
BUILDING
HEIGHTS

Prepared By: Urban Collage, Inc.
Prepared For: DeKalb County

March 2007



Relationship of Buildings to the Street



Buildings may setback to allow for public space, parks, or outdoor dining.



If a property is adjacent to an existing building with windows facing the property line, the min. side setback shall be 20'.

Buildings may setback to allow for stoops, porches, balconies, steps, or landscaping

South Chestatee Street

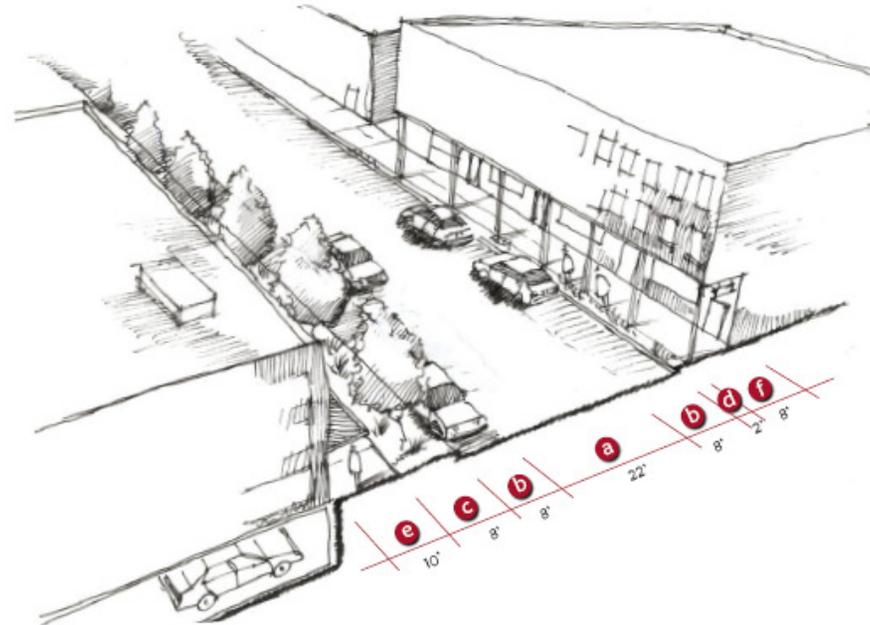
- Physical improvements to South Chestatee should be similar to the character but not a replication of the Public Square. Pages 3.8 to 3.11 of the Master Plan describe the street section and improvements, which focus on:
 - A minimum 8' wide sidewalk on the east side of the street with cover at new storefront buildings provided by an embayment or arcade continuous across the façade.
 - A minimum 2' wide planting strip on the east side of the street.
 - A minimum 10' wide sidewalk on the west side of the street. This should be made narrow to accommodate the historic cottages that belong to the college along South Chestatee Street.
 - A minimum 8' wide planting strip on the west side of the street with regularly-spaced shade trees of the same specie as used on East and West Main.
 - Parallel parking on both sides of the street.



Arcaded sidewalk

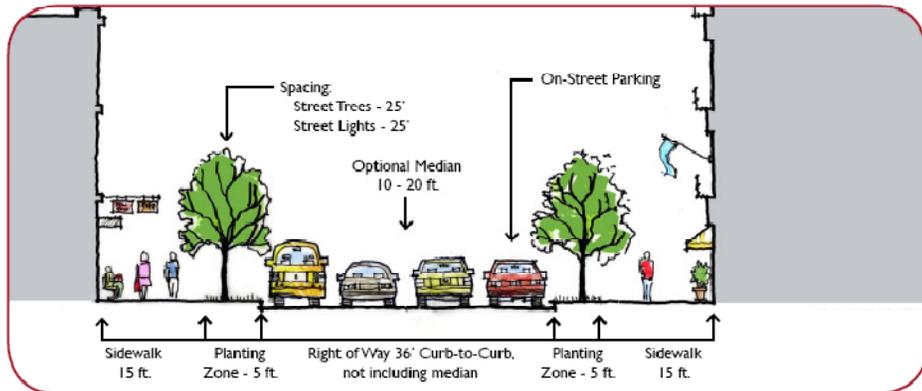
- a** two-way travel lanes
- b** parallel parking
- c** planting strip
- d** planting strip
- e** sidewalk
- f** arcaded sidewalk

Figure 2.4: Proposed South Chastatee Street Section

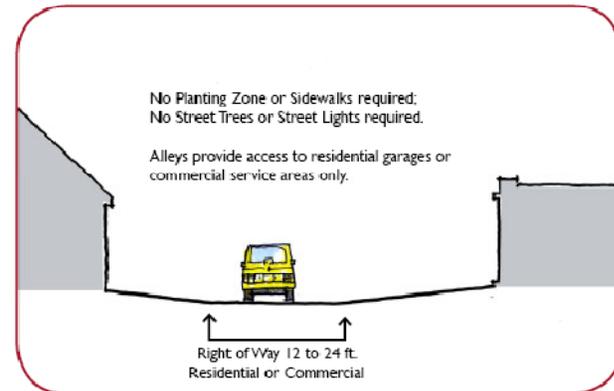


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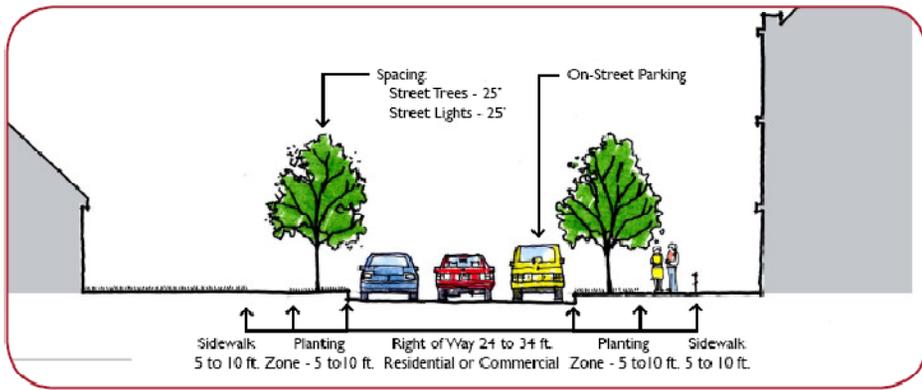
Streets and Sidewalks



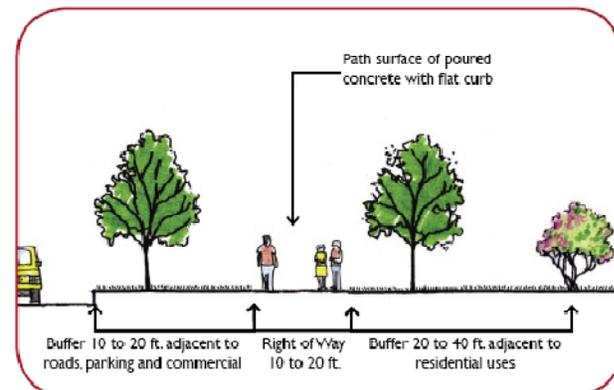
A.5.1 Avenue



A.5.3 Alley



A.5.2 Local Street



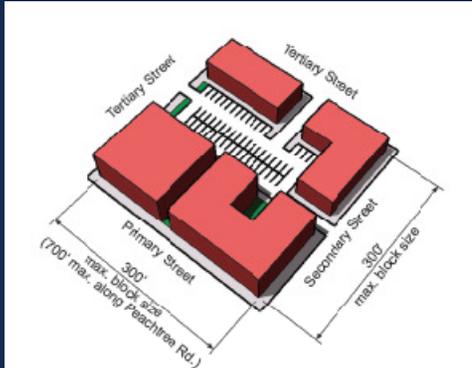
A.5.4 Multi-Use Path

Design Guidelines
March 2008

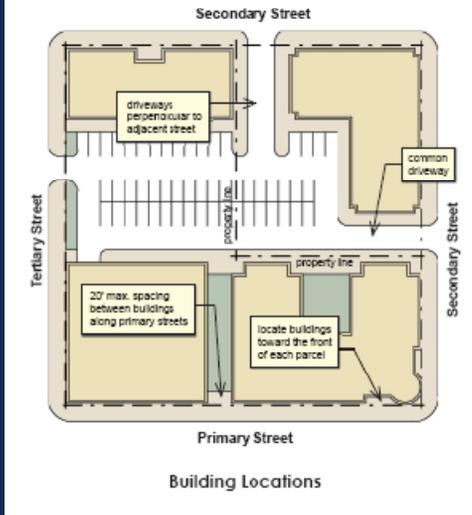
Street Designation
Cross-Sections

A.5

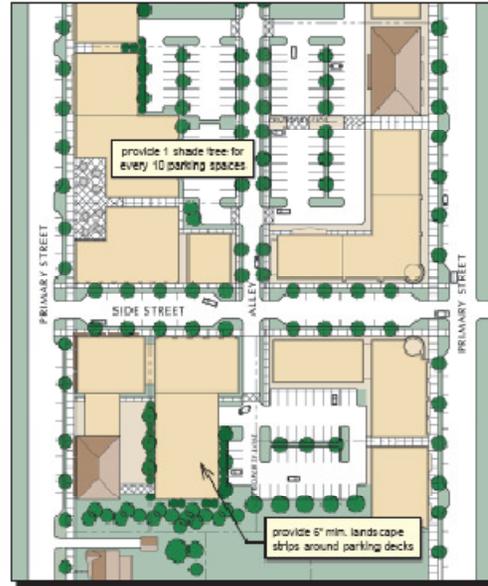
Parking



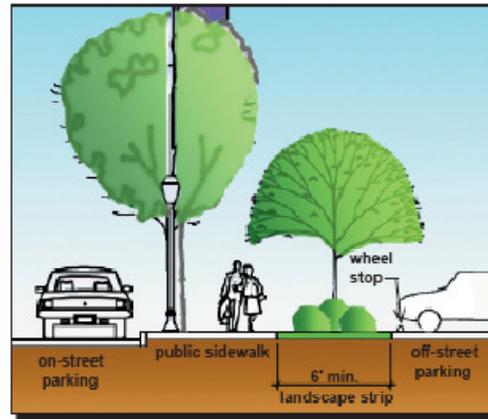
Location of Curb Cuts and Allowable Block Sizes



Building Locations



Screening of Parking Lots and Parking Decks



Parking to the Side of a Building Along a Public Street

Screening of Parking:

- Off-street parking shall be screened from view from any public street using buildings and/or landscaping. Off-street parking may not be located between the public street and the building's front façade. If a parcel is bound by more than one street, the front of the parcel shall be considered the side adjacent to the street with the highest classification as follows: Primary: Peachtree Road and Apple Valley Road; Secondary: Dresden Drive, North Druid Hills Road, Hermance Drive, Ashford-Dunwoody Road, Lanier Drive, Osborne Drive, Brookhaven Place; Tertiary: new streets and other existing streets.

- Surface parking provided to the side of any building along a public street shall be designated for short-term (no longer than 2 hours) parking and must be buffered from the public street and sidewalk with a landscape strip no less than six (6) feet in width containing a minimum of ninety percent (90%) living shrubs, groundcover, sod and/or annual or perennial color in the landscape strip surface area.

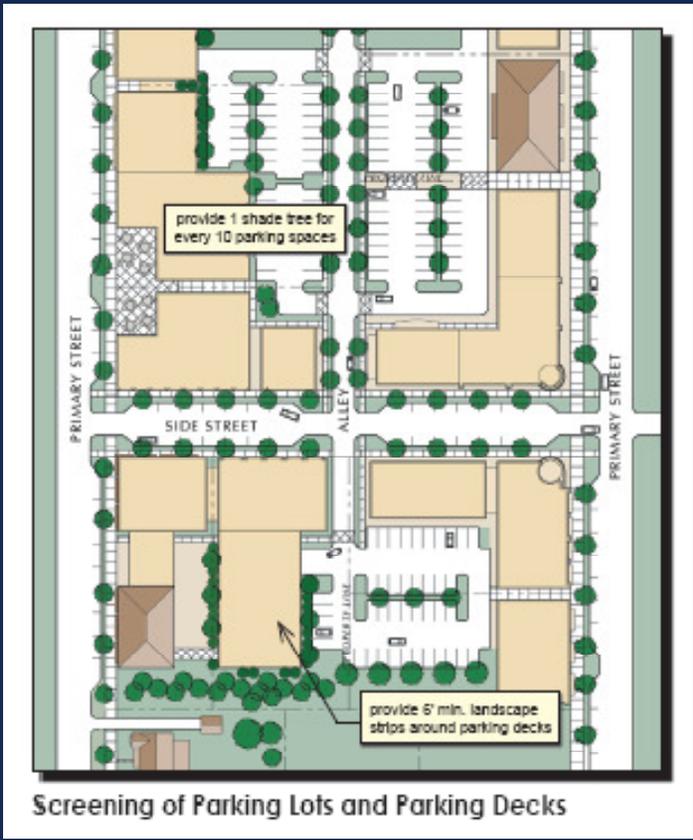
- Wheel stops or bumpers shall be placed at the head of all parking spaces that abut a landscape strip or sidewalk.

- All surface parking lots of 20 parking spaces or more must include landscaping in the form of shade trees within the confines of the surface parking lot. One shade tree must be provided for every 10 parking spaces. Shade trees must be a minimum of three and one half (3.5) inches in caliper measured twelve (12) inches above ground, shall be a minimum of sixteen (16) feet in height, shall have a minimum mature height of thirty (30) feet and shall be limbed up to a minimum height of eight (8) feet.

- All parking decks and parking structures shall have a landscape strip a minimum of six (6) feet in width immediately contiguous to the parking facility for the whole of the exterior perimeter of the parking facility except at vehicular or pedestrian entrances and exits. Such landscape strips shall contain no less than one (1) understory or overstory tree per fifty (50) linear feet, ten (10) shrubs per fifty (50) linear feet, and a minimum of ninety percent (90%) living groundcover, sod and/or annual or perennial color in the landscape strip surface area.



Landscaping



Public spaces should be surrounded with a mix of ground-floor active uses and be accessible from the public sidewalk.



Hardscape



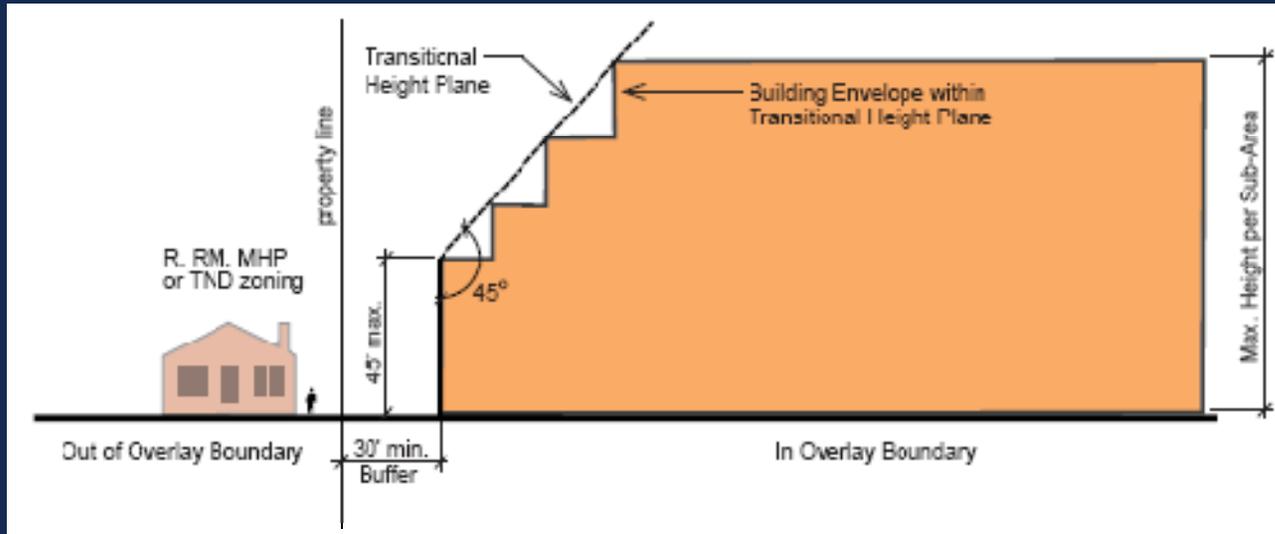
Open Space/Park

Guidelines:

- A publicly accessible open space, which is at grade and a minimum of twenty percent (20%) of the total development parcel, shall be provided by each new development that includes residential uses.
- All publicly accessible open spaces shall be at grade, open to general public access during daylight hours, surrounded by buildings with a mix of active uses on the ground floor on at least one side, face the public street, and be directly accessible from a public sidewalk along a street. Ground floor active uses shall include primary entries and exits into the building.
- Publicly accessible open spaces should include appropriate landscaping including shade trees. At a minimum one shade tree must be provided within or directly adjacent to the open space for every 2,000 square feet of open space. Shade trees must be a minimum of three and one half (3.5) inches in caliper measured twelve (12) inches above ground, shall be a minimum of sixteen (16) feet in height, shall have a minimum mature height of thirty (30) feet and shall be limbed up to a minimum height of eight (8) feet.
- Publicly accessible open spaces including front yards, planted areas, fountains, parks, plazas, trails and paths, hardscape elements related to sidewalks and plazas, and similar features which are located on private property and accessible to the general public; on-street parking or the portion thereof located on private property; and natural stream buffers shall be permitted to be counted toward the twenty percent (20%) open space requirement.
- Private courtyards and other private outdoor amenities shall be located at the interior of the block, behind buildings or on rooftops. Private courtyards and outdoor amenities shall be prohibited from being counted toward the twenty percent (20%) minimum open space requirement and other open space calculations that may increase minimum building heights.
- Open Space Implementation. All open space including buffers, setbacks, sidewalk clear zones, sidewalk zones and open spaces shall be fully implemented prior to issuance of a Certificate of Occupancy for the primary development.
- Open Space Maintenance. The owner shall provide adequate maintenance of the open space improvements for a minimum of one (1) year from the date of issuance of the Certificate of Occupancy. When a private property owner provides landscaping within the public right-of-way and the landscaping dies within a one-year period, such landscaping shall be replaced within a reasonable time for planting by the owner at the owner's sole expense.



Buffers



Landscape berm at parking area

Under special exception from the City of Dallas, a maximum of two rows of parking may be allowed between buildings and federal or state designated highways. If parking and/or a driveway of any type is allowed under special exception, a landscape berm no less than 12 feet in width and 4 feet in height must be provided between public roadways and the parking and/or driveway positioned between the roadway and building.

Signage



Residential signage

Signage Standards

Residential subdivisions and multi-family complexes: residential uses shall be permitted one freestanding sign (ground mounted) per main entrance, not to exceed two signs per development. Signs shall be monument-style in construction and limited to a maximum of 100 square feet per sign. Maximum sign height should not exceed twelve (12) feet.



Commercial signage - monument style

Commercial and Industrial uses: Each development shall be permitted one freestanding sign (ground mounted). Signs shall be monument-style in construction and limited to a maximum of 100 square feet. Maximum sign height should not exceed 18 feet. Monument signs shall be limited to the use of no more than 3 colors. For the purposes of this section, a shopping center or similar use shall be permitted one main freestanding sign; no freestanding signs shall be permitted for individual establishments in shopping centers or similar uses. Out-parcels located within a shopping center complex are allowed one monument sign each, but no more than two for any single shopping center or development, not to exceed 40 square feet with a maximum height not to exceed 8 feet. Signs shall be located 10 feet off a roadway right-of-way and shall not obstruct sight distances nor impede pedestrian access.



Externally located stationary lighting

All signs must be illuminated by an externally located stationary light source, shielded and directed solely at the sign. Freestanding/monument signs are limited to one lighting source per sign face. Colored lamps are not permitted. Wall signs may include no more than one lighting source per eight (8) feet of sign length. Internally lit signs (freestanding and wall signs) are not permitted.



Landscaping around signage

Landscaping: Landscaping shall be integrated with installation of freestanding signs in a manner that preserves sight distances and pedestrian access.



Window sign

Window signs: Window signs shall not exceed 10% of the total window area. Temporary interior window signs shall not exceed one-fourth of the total window area on the façade in which the windows face. No business shall display temporary window signs for more than 30 consecutive days or more than a total of 90 days in any calendar year.



Building and Roof Forms



Desired Architectural Character Example

Architectural Design Requirements

Structures within the New Town Overlay District shall have a "turn of the century" design aesthetic. Building designs should be reminiscent of structures built between 1880 and 1920, with a strong sense of proportion, a pedestrian scale, and facades typically comprised of masonry (including brick), wood and glass.

Building designs should emphasize vertical proportions where the height of individual buildings, windows, and other building elements should exceed their width.



Varied cornice heights, facade depth, materials, textures, colors, and window/door patterns

Structures longer than 100 feet in length shall create variations in the façade through varying the cornice height, façade depth, materials, textures, colors, and/or window and door patterns to provide visual interest and avoid imposing or monotonous facades.

Roof mounted equipment (mechanical and all other) shall be screened from view. The appearance, materials, and color of roof screens shall be coordinated with the building to maintain a unified appearance.



Example Images from 2005 Brookhaven-Peachtree LCI Plan Indicative of Desired Development Scale & Character within the Brookhaven-Peachtree Overlay District

Guidelines:

- Allowable building materials shall include brick, stone, stucco, wood, architectural metal siding, and fiber cement siding. Building facades that are visible from Primary roadways (Peachtree Road, Apple Valley Road) and Secondary roadways (Dresden Drive, North Druid Hills Road, Hermance Drive, Ashford-Dunwoody Road, Lanier Drive, Osborne Drive, and Brookhaven Place) should predominantly use brick and stone. The following building materials shall be prohibited: vinyl siding, exposed concrete block or concrete masonry units, exposed plywood, metal siding, plastic or PVC, and synthetic stucco or EIFS.

- Buildings of five (5) or more stories shall architecturally differentiate the first one (1) or two (2) stories from those above through the utilization of cornice lines, fenestration and other forms of architectural detailing.

- Large edifices, longer than one hundred (100) continuous feet, shall vary the cornice height and create variations in facades with changes in façade depth, materials, textures, colors, and/or window and door patterns to provide visual interest and prevent a massive imposing appearance.

- Building façades should promote architectural and visual interest. A minimum of 35% of any façade facing a public street shall consist of openings including windows and doorways.

- Service areas, trash dumpsters, trash compactors and all other mechanical areas and equipment shall be screened from view from all streets and public rights of way. Screening shall be permitted to include landscaping, or architectural treatment or color similar to the building to screen the equipment.

- Roof structures visible from the public right of way may be sloped or flat. Sloped roofs shall be hip roofs of less than forty-five (45) degrees in pitch or gable roofs of thirty (30) degrees or greater in pitch. Sloped roofs shall have overhangs of at least 12 inches on all sides and shall not exceed one hundred (100) feet in length without a change in plane. Permitted roofing materials for sloped roofs include asphalt or fiberglass shingles, solar shingles used with asphalt or fiberglass shingles, standing seam metal roof, ceramic tile, slate or synthetic slate. Flat roofs shall have decorative and/or corbelled parapets on all sides visible from the public right of way and drain to internal roof drains and/or to the rear of the structure, limiting downspouts on facades along primary and secondary streets. Simple barrel vaults or roofs are allowable. Mansard, gambrel, and shed roof forms are prohibited.

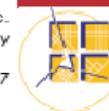
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6

ARCHITECTURAL
DESIGN

Prepared By: Urban Collage, Inc.
Prepared For: DeKalb County

March 2007



BROOKHAVEN - PEACHTREE DESIGN GUIDELINES

Building Materials & Colors



1.7 Material

Materials used for new construction and rehabilitation should be of higher quality. Materials like EIFS (External Insulation Finishing Systems), plastic and vinyl should not be used.

The following guidelines are applicable to all districts unless otherwise specified. Any special provisions mentioned in a district regarding a particular building element should supersede those mentioned below. Materials for District 5 (University Heights) should follow guidelines mentioned in Part 2.5.

- Refer to the Historic District Guidelines for provisions regarding the preservation, rehabilitation or replacement of historic building material.
- 4" wooden lap siding is highly encouraged on both commercial and residential buildings where applicable.
- Fiber cement siding is allowed but recommended to have a lap dimension similar to traditional wood siding for design consistency.
- Vertical wood or cement fiber board-and-batten siding is allowed on ancillary and service structures.
- Random-coursed or dry-stack stone retaining walls, stairs, and other landscape elements are strongly encouraged.
- Architectural-grade asphalt shingle, rolled or seamed metal, or wood shakes are acceptable materials on pitched roofs.
- Traditional red brick similar to wood-molded or handset units is encouraged on commercial buildings in all districts except for District 2 (Historic Neighborhoods).
- Painted, close-grained textured concrete masonry units or rubble stone walls are allowed on commercial buildings in Districts 1 (Public Square/South Chestatee Gateway) and 3 (East End) provided they are limited to the typological criteria described in Part 1.11 (Historic Building Forms).
- Exposed foundation walls should be surfaced with either traditional red brick as described above, or random-coursed rough stone.



Traditional wooden lap siding



Vertical board siding



Painted patterned concrete block



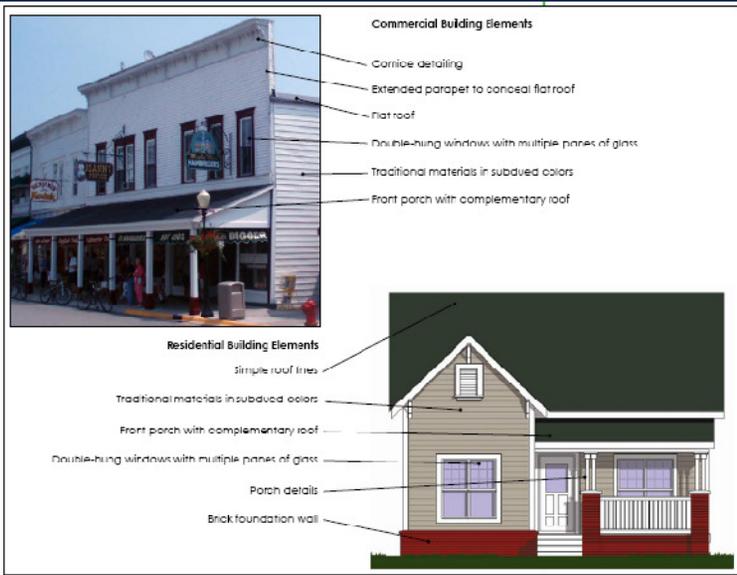
Traditional handset red brick



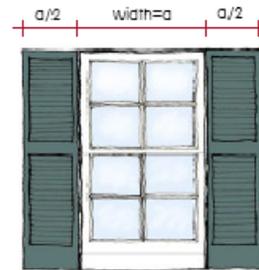
Random-coursed rough stone foundation

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Fenestration and Doors



Rectangular, Double-hung Wood Sash Windows



Windows with Shutters



Screen Door over an Entrance

2.c. Building Elements - Windows and Doors

Windows and doors contribute significantly to the architectural style and character of a building through their size, proportions, shape, location and rhythm of repetition.

- Residential buildings are characterized by symmetrically spaced, rectangular, double-hung wood sashes, multi pane windows and true divided lights.
- Commercial buildings are characterized by large storefront windows with wood shutters or shades. These windows should cover 50% to 75% of the frontage length, starting at 2 feet and going up to a height of 9 feet above the sidewalk. The horizontal length of a façade without fenestration should not exceed more than 10 feet in length.
- Upper façade windows should be placed symmetrically and relate to those on the lower façade.
- Doors and windows should be made of wood or plastic (vinyl and aluminum cladding is acceptable), and be fitted with non-reflective glass and should not be overly ornate. Non-traditional materials such as aluminum, vinyl, tinted or mirrored glazing or Plexiglas are discouraged.
- Screen and storm doors should be compatible with and resemble existing doors as closely as possible in size, shape, color and appearance.
- The use of iron or other metal bars should be avoided over fenestrations.
- Entrance doors should be recessed or flush with the façade and can be either single or double doors of wood or glass that are accentuated by transoms and sidelights.
- Shutters should be sized appropriately. Each shutter width should be equal to half of the window width.



Symmetrical Placement of Windows on the Upper and Lower Floors



Commercial Façade with Large Storefront Windows and Entrance Door

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Adoption of Design Guidelines

1. Conditions of Zoning

- ✓ works well for big master planned projects
- ✗ incremental implementation

2. Overlays

- ✓ avoids large scale re-zoning process
- ✗ can result in conflicts between underlying zoning and design overlay

3. Amended or New Zoning Districts

- ✓ avoids contradictions and conflicts between layer
- ✗ can be politically difficult

Administration of Design Guidelines

1. **Standard/Staff Review**
 - staff may lack expertise to administer design guidelines
2. **Administrative Review/Permit**
 - administrator may not be qualified
 - room for political maneuvering (or the appearance of)
 - Board can be established, but may be political or result in delays
3. **Board Review/Permit**
 - Board may become political or power-hungry
 - Can result in deferments or delays