



Carl Vinson
Institute of Government
UNIVERSITY OF GEORGIA

Planning & Zoning

104 (intro)

Enhancing Local Government Through Zoning & Planning Education Community Planning Program

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2025 Planning & Zoning Classes

UGA Gwinnett Campus, Lawrenceville

101: The Basics

- April 17, August 21, November 6

102: Public Engagement

- May 15, December 4

103: Administrative Appeals

- July 15

104: Zoning Reform & Revision

- March 27, September 25

Classes Under Development:

- Building Community through Walkability
- Sustaining Rural/Small-Town Identity
- Housing Policies & Best Practices



Carl Vinson Institute of Government

MISSION (OUR PURPOSE/CAUSE/BELIEF – OUR WHY):

Inform, inspire, and innovate so that governments can be more efficient and responsive to citizens, address current and emerging challenges, and serve the public with excellence.

CORE VALUES:

In fulfilling the Institute of Government's mission, we believe in and embrace five core values:

Excellence | Inclusivity | Integrity | Innovation | Public Service



The Importance of Planning & Zoning Education

- How does zoning shape who gets to live, work, and invest in your community?
- What small zoning change could have the biggest impact?
- Who is at the table when we talk about zoning reform?
Who isn't—and why?
- What do you want your zoning code to accomplish in the next 10, 20, or 50 years?

Focus on Planning & Zoning 104

- Why zoning reform is significant to the future
- Expectations of a contemporary code
- Methods of assessment
- Aspects of code to consider
- Flexibility and incrementalism

ZONING

“Zoning isn’t about the ‘what’-it’s about the ‘who.’ It’s about who gets to live in our communities, who gets to access good schools, parks, and jobs. Fixing zoning is about changing the way we think about opportunity and access for all.”

-- Matthew Desmond



Zoning Reform & Revision

In your groups,

- **How does zoning shape who gets to live, work, and invest in your community?**
- **What do you want your zoning code to accomplish in the next 10, 20, or 50 years?**



Reform (Why) and Revision (How)

Zoning codes tend to restrict affordable development, limit walkability, fail to preserve open land, and promulgate suburban sprawl. **To truly target these problems, zoning reform is needed.**

- **Zoning reform** is assessing how code meets future needs/desired goals and adjusting regulations to create more flexible, equitable, and responsive land-use policies.
- **Zoning revision** is how reform is implemented through amending zoning ordinances & maps.



Why revise your zoning code?

Adoption of Updated/New Comprehensive Plan

- Zoning ordinances are typically the primary means of implementing the plan.

Consistency/Readability

- Over time, piecemeal amendments prepared by various authors result in inconsistencies in the code's substance and style.

Age

- If your code is over 10 years old, it should be updated to reflect changes in zoning techniques, approaches, and definitions; and community and development trends.



COMPREHENSIVE PLAN ALIGNMENT

"Zoning codes are the plumbing of cities. They shape our lives, often below the surface, and often invisibly. Yet when outdated or poorly conceived, they can undermine our communities and exacerbate inequality."

— Emily Badger



Reform: Comprehensive Plan Alignment

Reasons to update your zoning ordinance directly after updating comprehensive plan:

- Helps ensure that zoning work will be completed and budgeted for in advance of planning fatigue that can overwhelm late phases of updating comp plan.
- Plan's visioning process may be stronger with knowledge that zoning will follow. Stakeholders may participate more in planning process knowing that zoning updates will follow.



Revision: Comprehensive Plan Alignment

Determine whether the zoning regulations support the goals and objectives outlined in the plan:

- Look at each component in the comprehensive plan and ask if it is allowed by the current code.
- If there are changes to character areas/future development map, zoning code needs to be updated to reflect changes.



Methods of Review and Assessment

- Consistency with comprehensive plan goals, policies, character area/future land use maps, and community priorities.
- Conduct public hearings, focus groups, surveys, etc. to find out what is working and what needs improvement.
- Studies on:

housing affordability	development costs
economic development	property values
environmental sustainability	market trends
equity and inclusion	environmental impact



**What led to the creation of the
Downtown Overlay District?**

HISTORIC
DOWNTOWN

Dacula

EST. 1905



Box Store Development Case

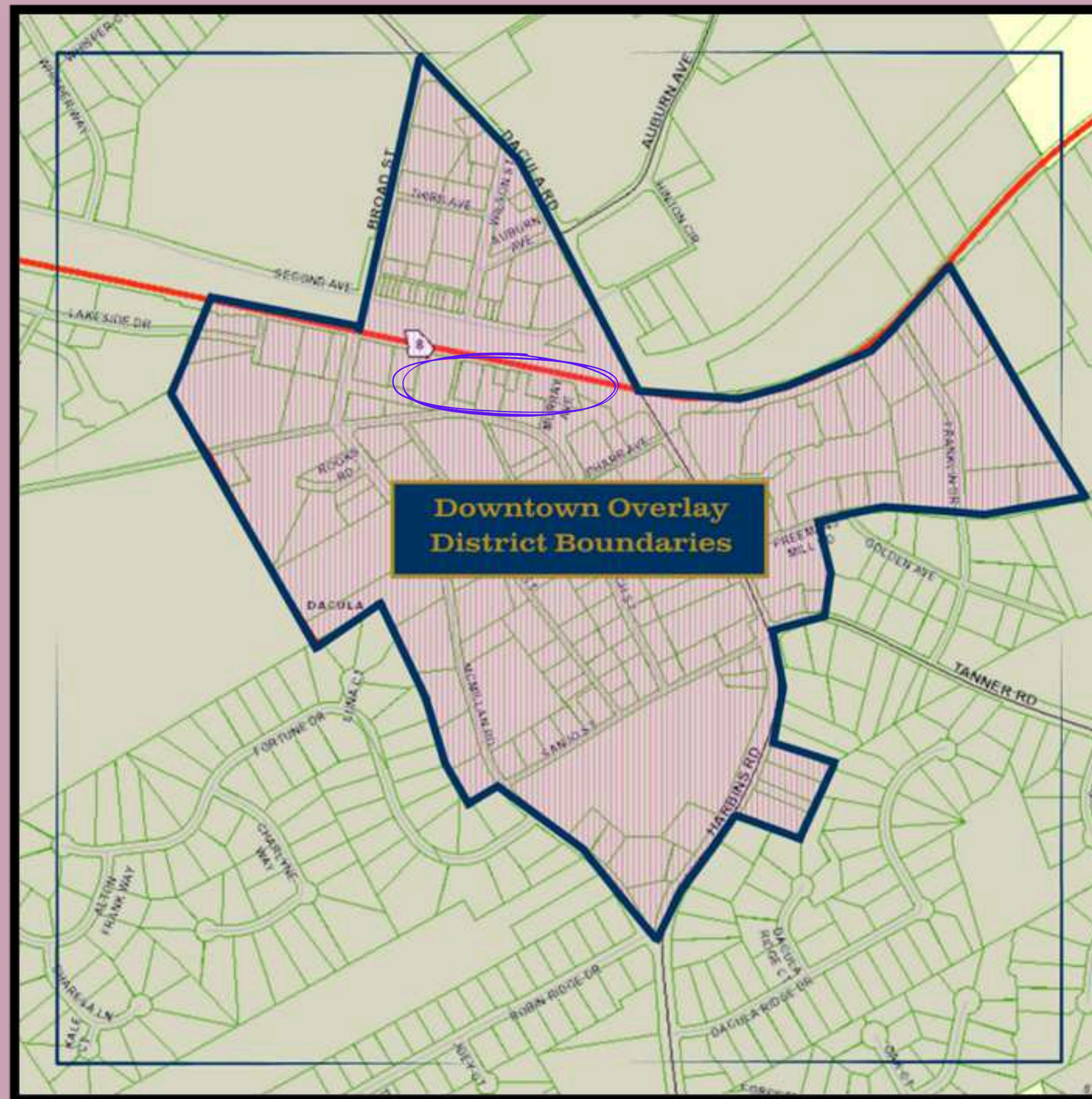


Zoning: C-2 (General Business District)

Request: To encroach 15-foot setback requirement

Size: (+/-) 1.86 acres

Proposed Use: Commercial Retail





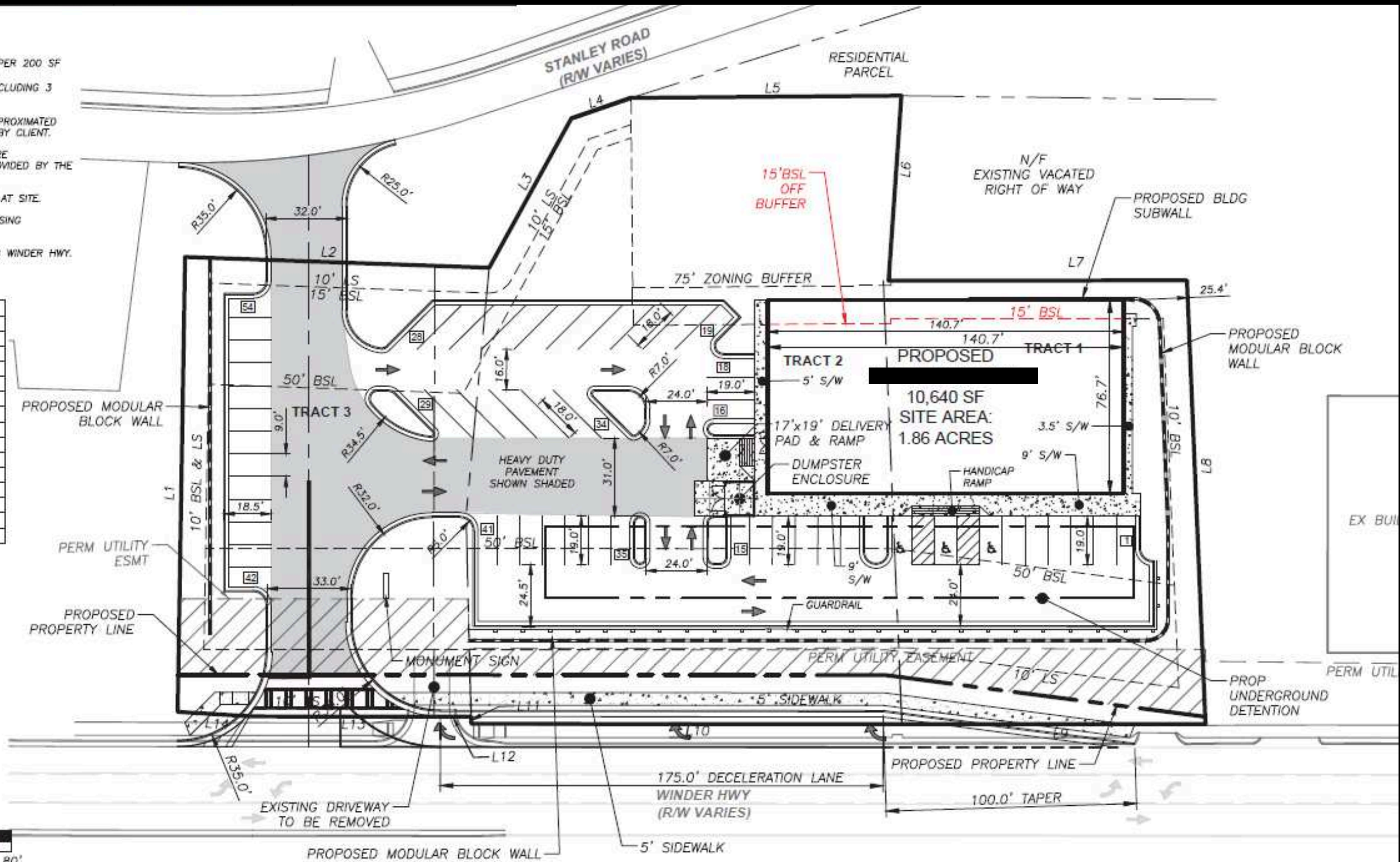
1. ZONING: EXISTING C2
2. PARKING SPACES REQUIRED: (1 PER 200 SF OF GROSS FLOOR AREA) 53.2 (54)
PARKING SPACES PROVIDED: 54 (INCLUDING 3 HANDICAP SPACES)
3. EXISTING FEATURES SHOWN ARE APPROXIMATED BASED ON INFORMATION PROVIDED BY CLIENT.
4. BEARINGS & DISTANCES SHOWN ARE APPROXIMATED BASED ON INFO PROVIDED BY THE CLIENT.
5. PUBLIC SANITARY SEWER AVAILABLE AT SITE.
6. STORM SEWER WILL BE DETAINED USING UNDERGROUND DETENTION.
7. WATER SERVICE IS AVAILABLE ALONG WINDER HWY.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S12°40'54"E	179.96'
L2	N76°11'35"W	120.28'
L3	S40°32'20"W	67.40'
L4	S82°49'47"W	25.02'
L5	N78°42'02"W	106.81'
L6	N15°43'12"E	60.93'
L7	N77°32'17"W	124.37'
L8	N11°44'15"E	186.27'
L9	S78°14'08"E	120.02'
L10	S78°12'31"E	170.20'
L11	S10°12'23"W	2.91'
L12	S78°11'50"E	14.62'
L13	S78°11'42"E	71.91'
L14	S74°43'00"E	29.48'



SCALE: 1" = 40'

A horizontal scale bar with alternating black and white segments. The segments are labeled 0', 20', 40', and 80' from left to right. The bar is divided into four equal segments, each representing 20 feet.



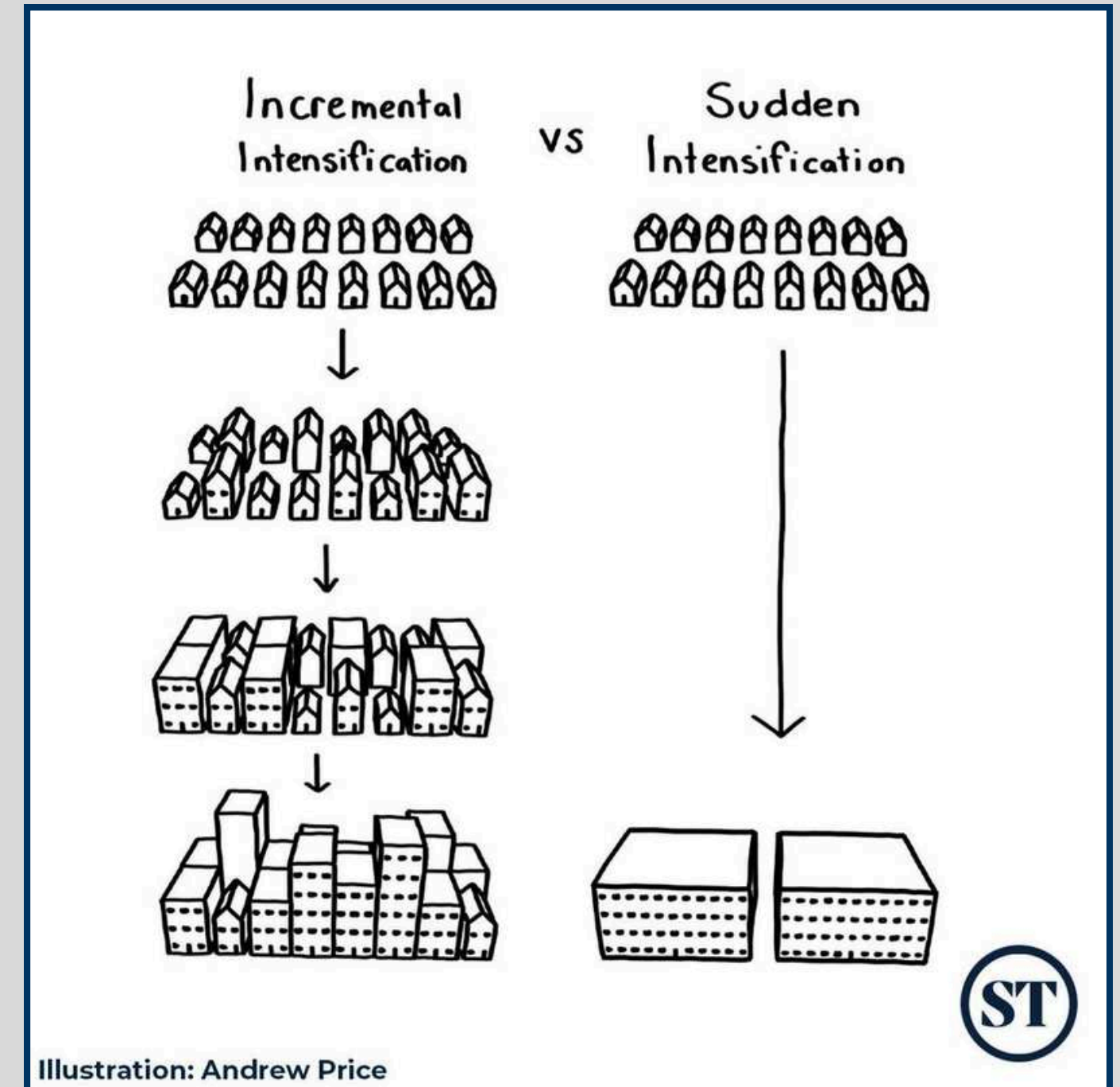


Where do we start?

We want to redevelop and extend the Downtown...



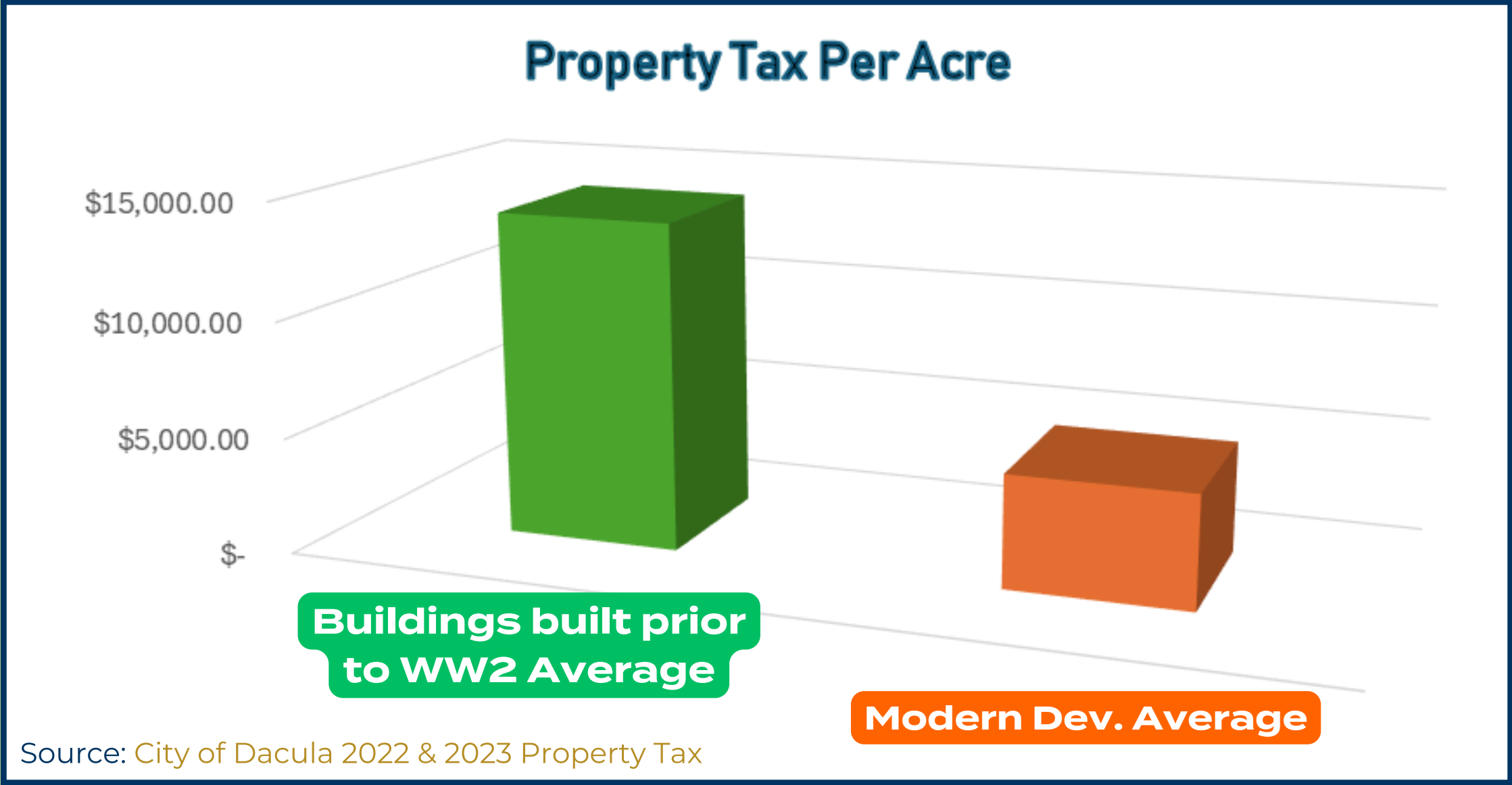
1. How do we want to develop?



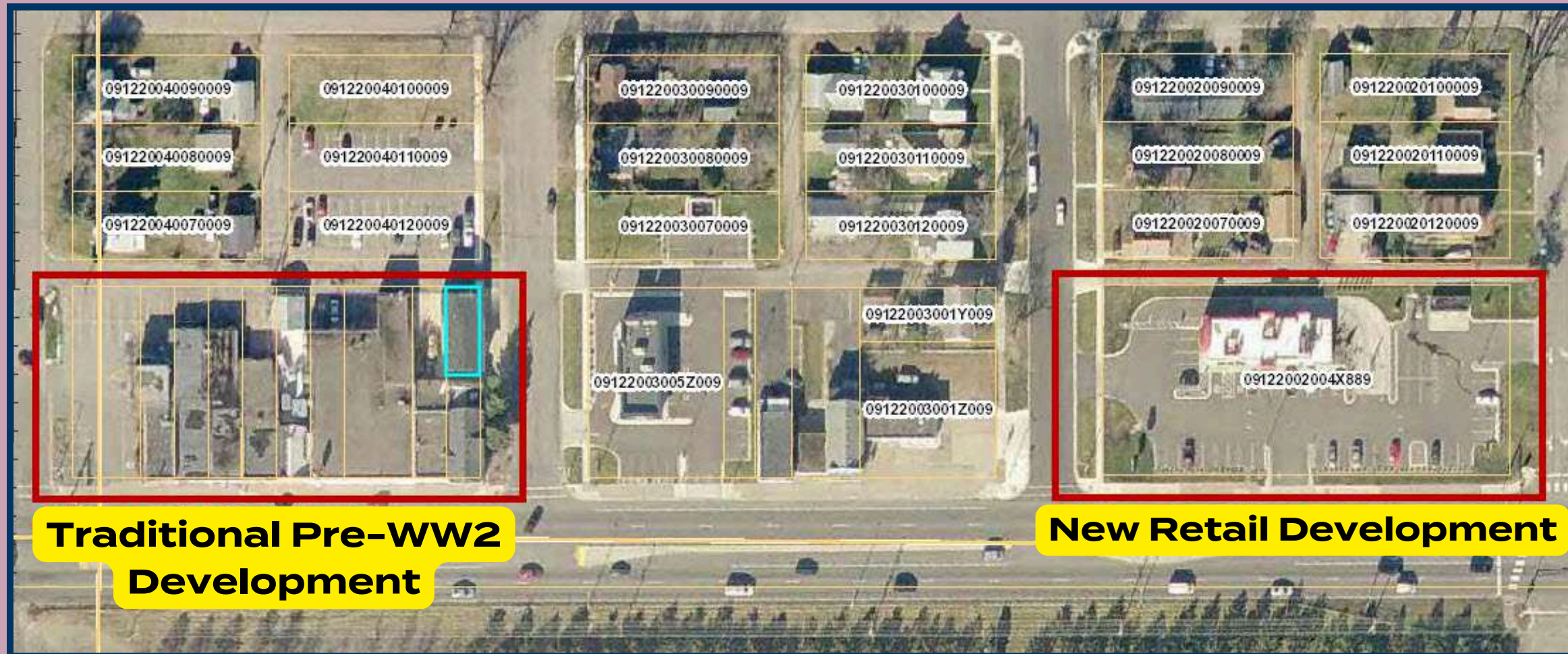
2. What gives us the biggest bang for our buck?
(What does the data say?)



VS.



2. What gives us the biggest bang for our buck? (What does the data say?)



Brainard, MN

The pre-WW2 amenity oriented block has a total annual taxation value of \$1,104,000. New Retail block has a total value of \$618,000.

3. How should space be allocated?

Parking Minimums vs Maximums



4. What does Dacula want to look like?

Roof Types



This metal, overhanging false mansard roof is inappropriate for downtown Winchester; note also the inappropriate use of painted concrete block as a facade material.



Steep sloped roofs with parapet walls are appropriate for transitional buildings; note the appropriate outdoor café area surrounded by a low brick wall.



This street wall illustrates a variety of ways to appropriately detail roof forms for townhome transitional buildings; note the appropriate use of dormers and a corner porch and tower element at the street corner.

Windows & Doors



These round-topped storefront windows and residential scaled door are inappropriate for commercial ground floors.




This appropriate commercial storefront presents an appealing streetscape for pedestrians; note the appropriately proportioned windows on the upper floor.



Front porches and stoops are appropriate entry elements for transitional buildings; note the appropriate window shutters that are sized to match the window widths when closed.

Materials



EIFS (Exterior Insulation Finishing System) is an inappropriate building facade material for Downtown Winchester.



This streetscape illustrates appropriate use of brick and cementitious lap siding as an appropriate facade material for transitional buildings.



This streetscape illustrates an appropriate variety of facade materials that help define the articulated facade bays of the individual townhomes.

TRANSITIONAL BUILDING STANDARDS AND GUIDELINES

Street Fronting Facades (continued)

- Storefront window systems shall be no wider than 25 feet without being articulated by another building element
- Maximum sill height for commercial ground floor windows shall be no more than 3 feet above finished floor
- Windows of transitional buildings should be vertically proportioned
- Reflective glass and dark tinted glass are discouraged
- A minimum of one building entrance shall be provided fronting the pedestrian zone and accessed from a public sidewalk
- All doors fronting pedestrian zones should be fully glazed; exceptions for ground floor office and residential uses and for secondary doors accessing stairwells and emergency egresses may be permitted

Roofs

- Sloped roofs are appropriate and may be concealed from view with a parapet wall
- False mansard type roofs and overhanging fascia type roofs shall not be permitted
- Pre-engineered metal building roofs shall be concealed by a parapet wall fronting all streets

Materials (refer to pages 20-21 for complete listing)

- Materials, colors and textures should be compatible with historic buildings surrounding the Courthouse Square in Downtown Winchester
- Vinyl siding shall not be permitted; wood or cementitious (Hardi, etc.) siding is recommended
- Metal siding, stucco and EIFS are not permitted materials for cladding building walls and shall be limited to architectural detailing

Awnings and Canopies

- Awnings and canopies may only be applied over building storefronts and entrances; upper story applications are not permitted
- Vinyl and metal awnings shall not be permitted; metal canopies suspended from the building structure are permitted
- Awning styles and shapes should be compatible with the character of the building and neighboring buildings
- Internally illuminated or "glowing" awnings are not permitted

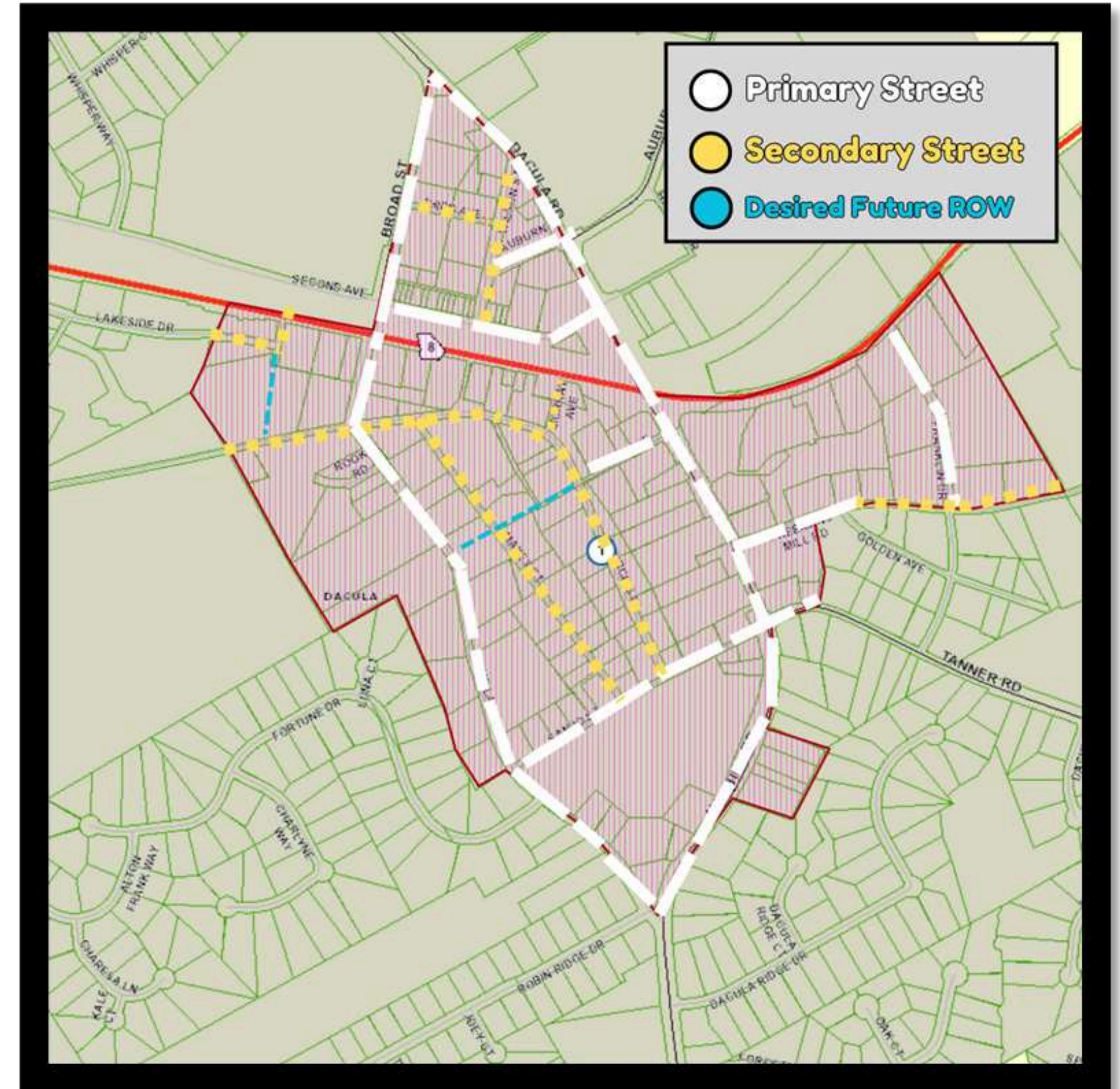
17



Photo simulation of proposed changes to Sheridan Road, Heart of Peoria Land Development Code (2007), Peoria, Illinois. Credit: Urban Advantage (www.urban-advantage.com).

Downtown Overlay Results

- **Street Design Standards**
- **Downtown Building Site Limits**
- **Public Space & Infrastructure Guide**
- **Building Design Guidelines**
- **Vertical Mixed-Use within DOD**
- **ADUs in the DOD**
- **Downtown Sign Standards**
- **Downtown Streetscaping Standards**
- **Parking Ranges in Place of Min.**



INCREMENTALISM

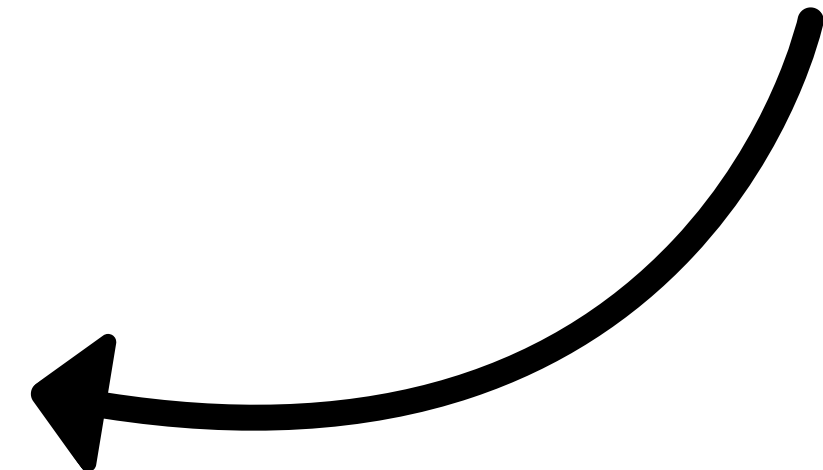
“Incremental change is better than ambitious failure....success feeds on itself.”

--Tal Ben-Shahar





Scan the QR for the Zoning Code
Assessment!



Are your City's codes working for you?