



Comprehensive Plan

Brookhaven

BOUND FOR 2044

From Policy to Action: Implementing an Equitable Comprehensive Plan

GPA Spring Conference
March 13, 2025

Who We Are



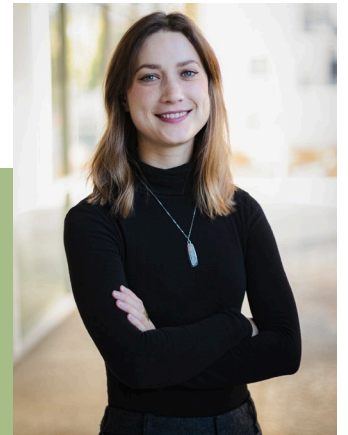
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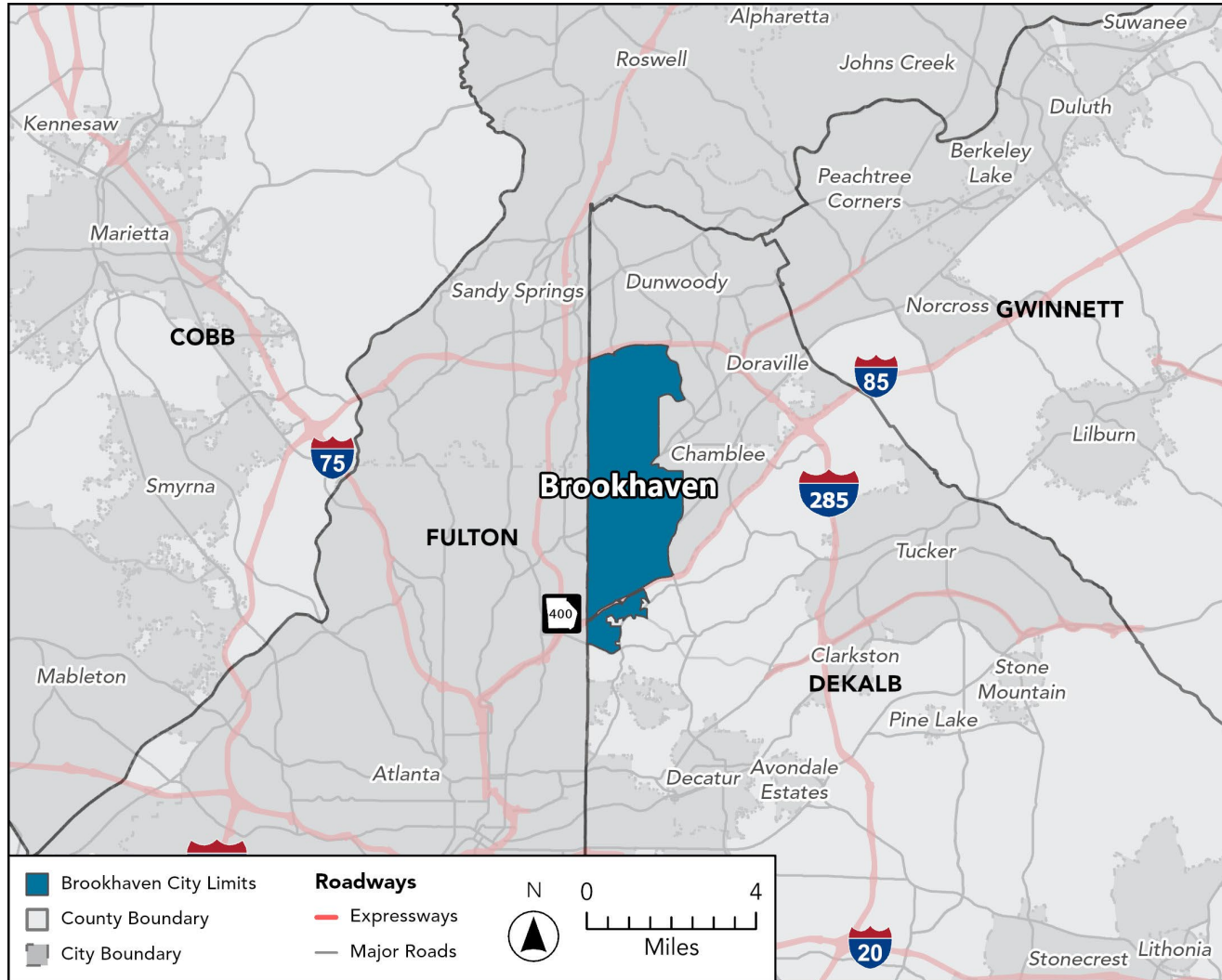


Today's Agenda

- » Background on City of Brookhaven
- » Bound for 2044 Comprehensive Plan Highlights
 - » Community Engagement
 - » Sustainability Analysis, Priorities, Policies, and Actions
 - » Housing Analysis, Priorities, Policies, and Actions
- » Implementation of our Priorities
 - » Sustainability Initiatives
 - » Housing Initiatives

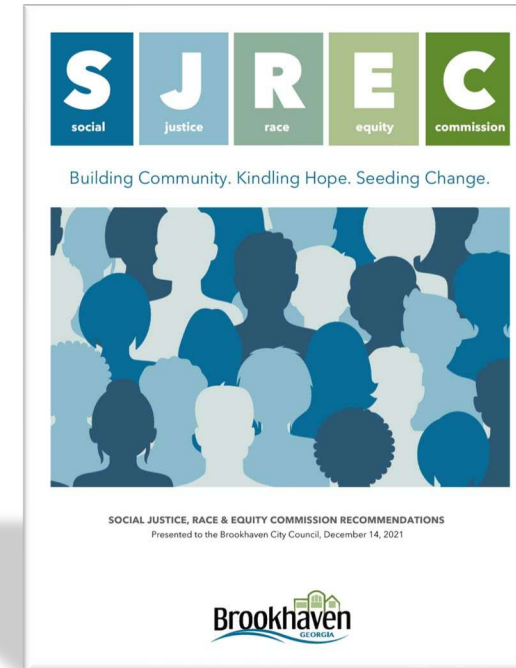


Brookhaven Overview



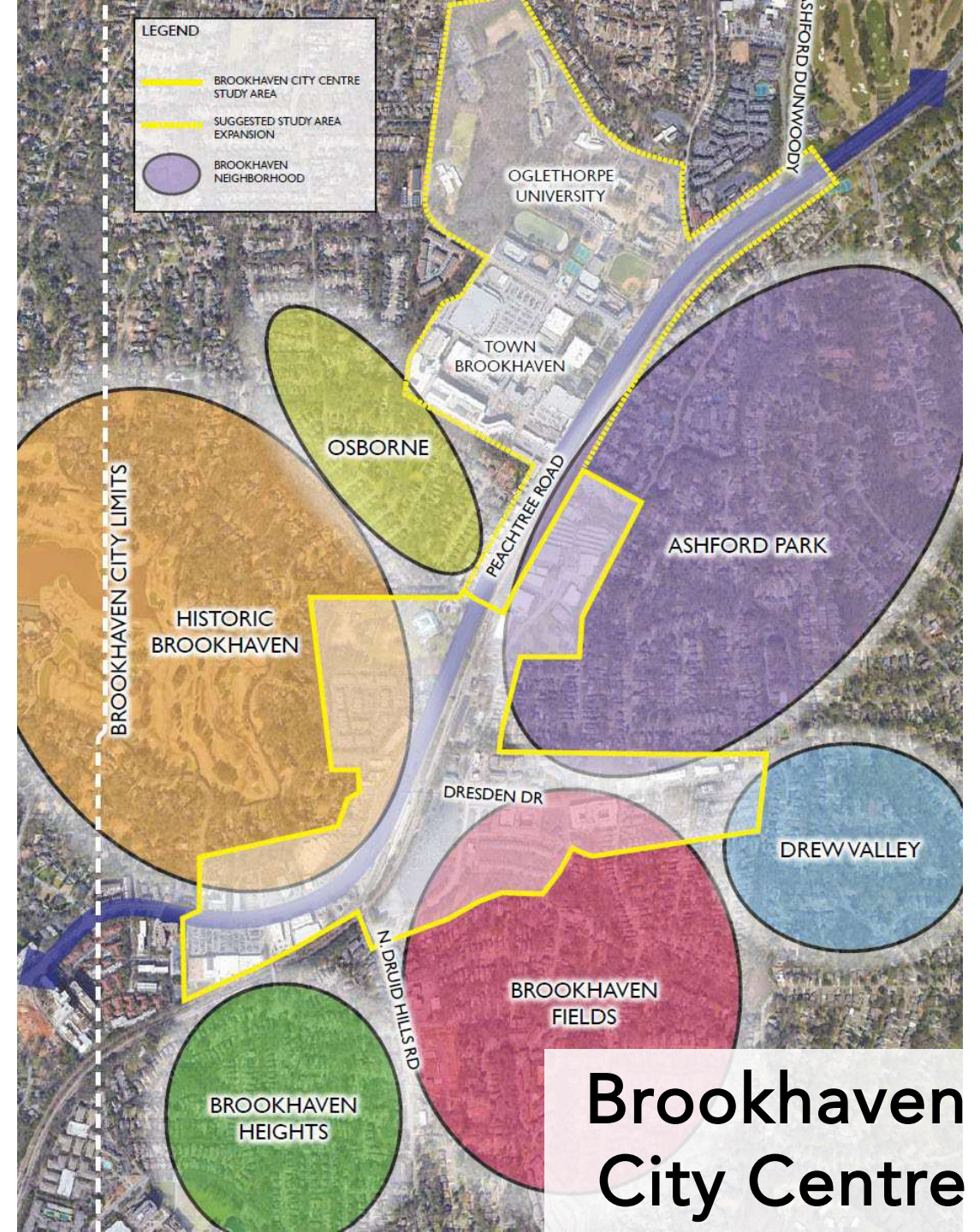
Recent Initiatives

- » Brookhaven established its Social Justice, Race and Equity Commission in 2020, securing its commitment to equity.
- » City's Enterprise-Wide Community Engagement Plan guides the overall approach for all plans and projects



BROOKHAVEN CITY CENTRE MASTER PLAN

SUMMER 2022







Housing Types



BROOKHAVEN BOUND FOR 2044

Brookhaven 2044 Team

CITY OF BROOKHAVEN



- Project Guidance
- Staff Support

BLUE CYPRESS



- Project Management
- Public Engagement
- Documentation
- Quality Assurance

TSW



- Land Use Lead
- Engagement Support
- Quality Review

FOURTH ECONOMY



- Housing Lead
- Economic Development Lead
- Engagement Support



Plan Collaboration

**CITY OF
BROOKHAVEN**

**PLANNING
TEAM**

**COMMUNITY
MEMBERS**

**STEERING
COMMITTEE**

Atlanta Regional
Commission

Georgia Department
of Community Affairs

Neighboring
Jurisdictions



Community Engagement

Public Engagement

- » 3 Community Workshop Series
- » Community Survey
- » Digital Input Map
- » 3 Pop-Up Booths

Stakeholder Engagement

- » Community Leader Interviews
- » Steering Committee
- » Listening Sessions with Affordable Housing Developers, Cross Keys Students, and Parents



Engagement Results

OVERARCHING THEMES

- » Celebrating our **diversity**
- » Protecting our **ecological assets** (tree canopy, creeks, greenspace)
- » Investing in **economic engines** and **neighborhood placemaking**
- » Combatting **gentrification** (housing and commercial on BuHi)
- » Increasing **walkability**, **bikeability**, and **access to transit**



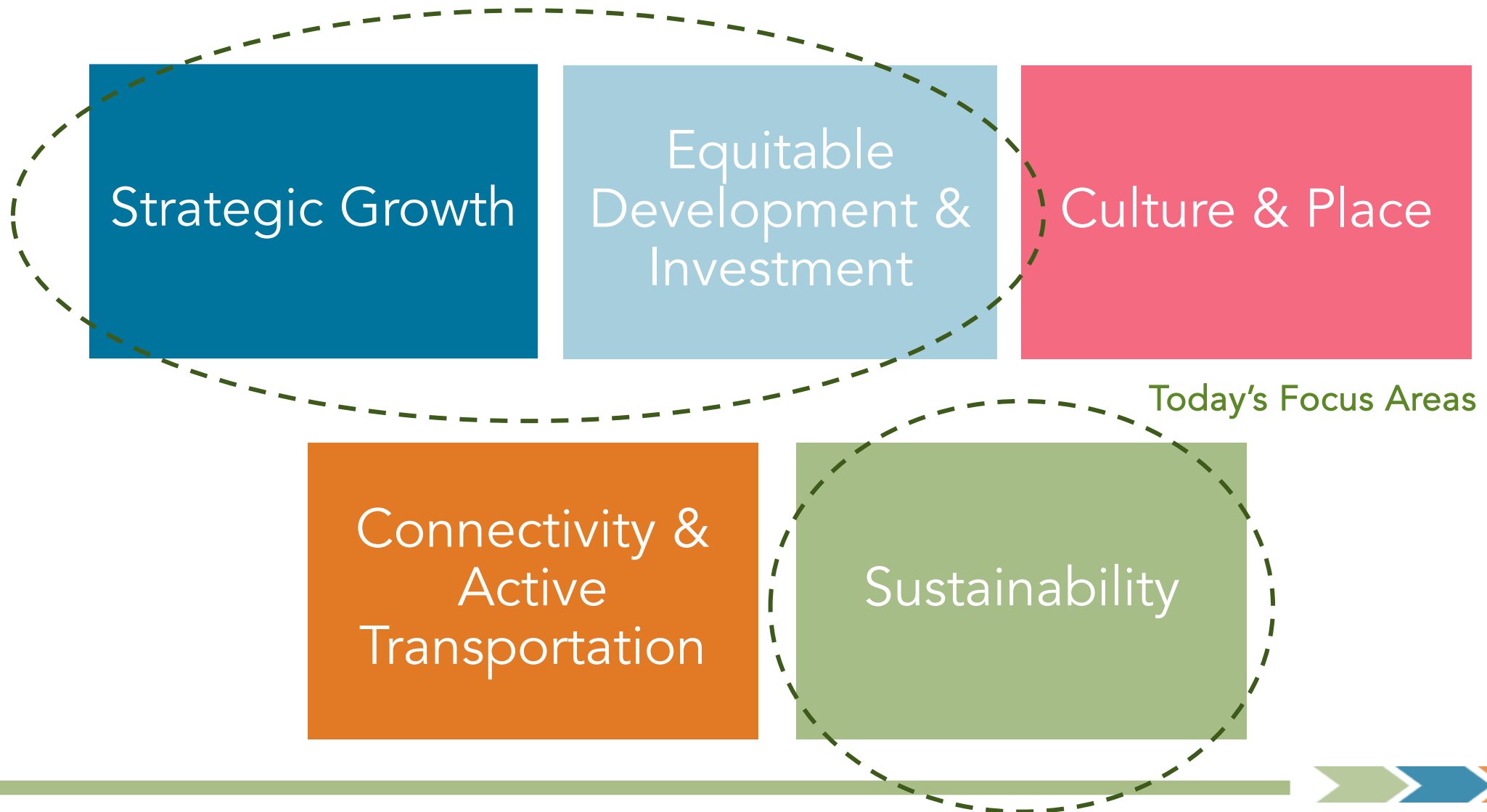
Engagement Results

Housing Feedback:

- » Adding more **affordable housing** is a **priority**
- » Need a **variety** of housing for **people of all ages**
- » Should **concentrate housing** development near **MARTA station and job centers**
- » Interest in **removing regulatory barriers**
- » Want **creative solutions**



PRIORITY AREAS (SHORT TERM)





SUSTAINABILITY IN BROOKHAVEN 2044

SUSTAINABILITY



SUSTAINABILITY



Prepared for the City of Brookhaven, Georgia



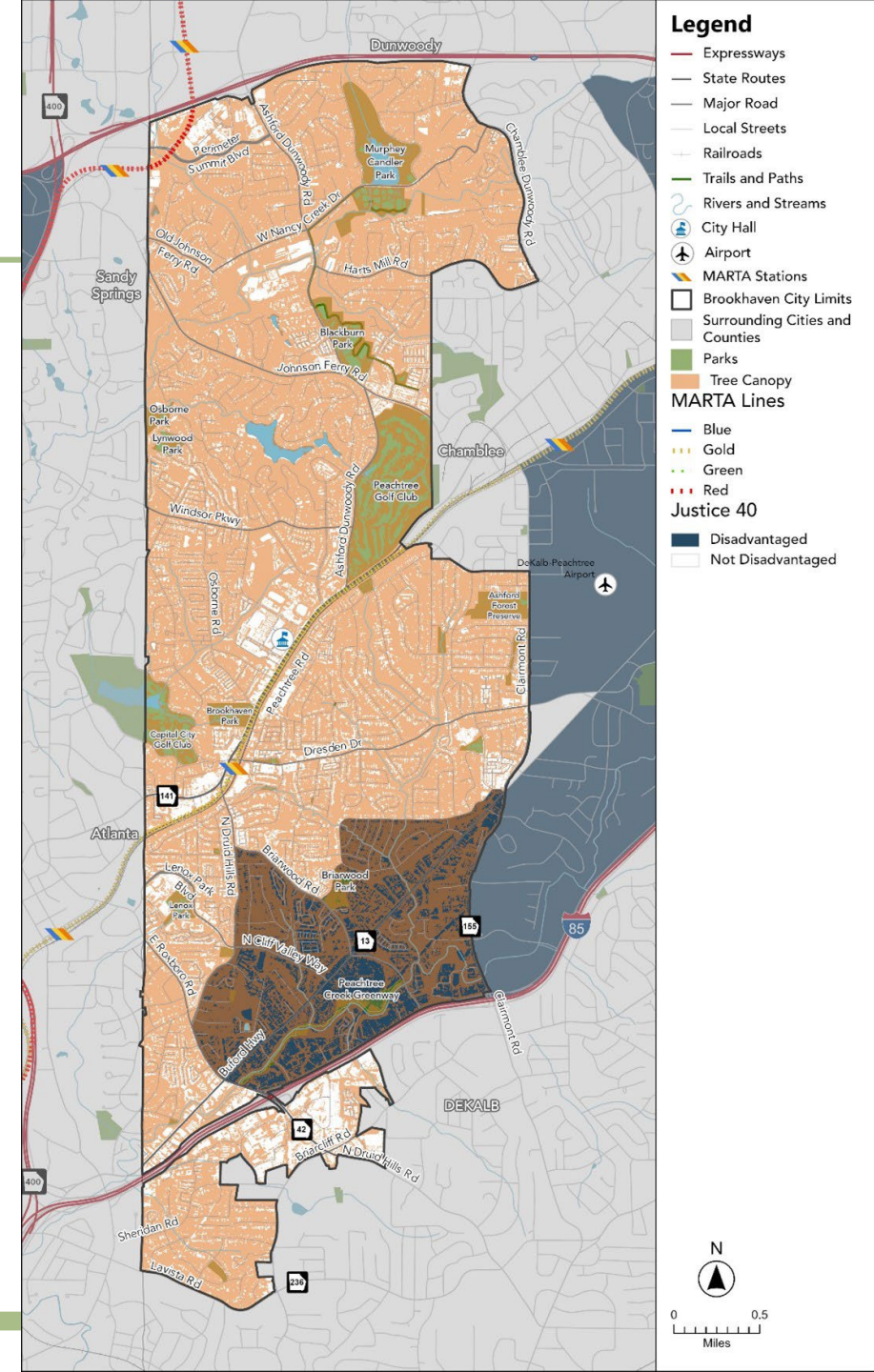
Prepared for the Cities of Brookhaven and Chamblee, Georgia



**Peachtree Creek
Greenway
September 27, 2024
Tropical Storm Helene
Impacts**



» Analyzed access to environmental resources in relation to equity areas



Carryover Priorities (2019 Comp Plan)

- » Leverage city's creek system while protecting its long-term health.
- » Encourage sustainable development in the city through incentives and policies.
- » Promote health and exercise through supportive infrastructure and design.



*Peachtree Creek Greenway
Photo Source: PATH Foundation*

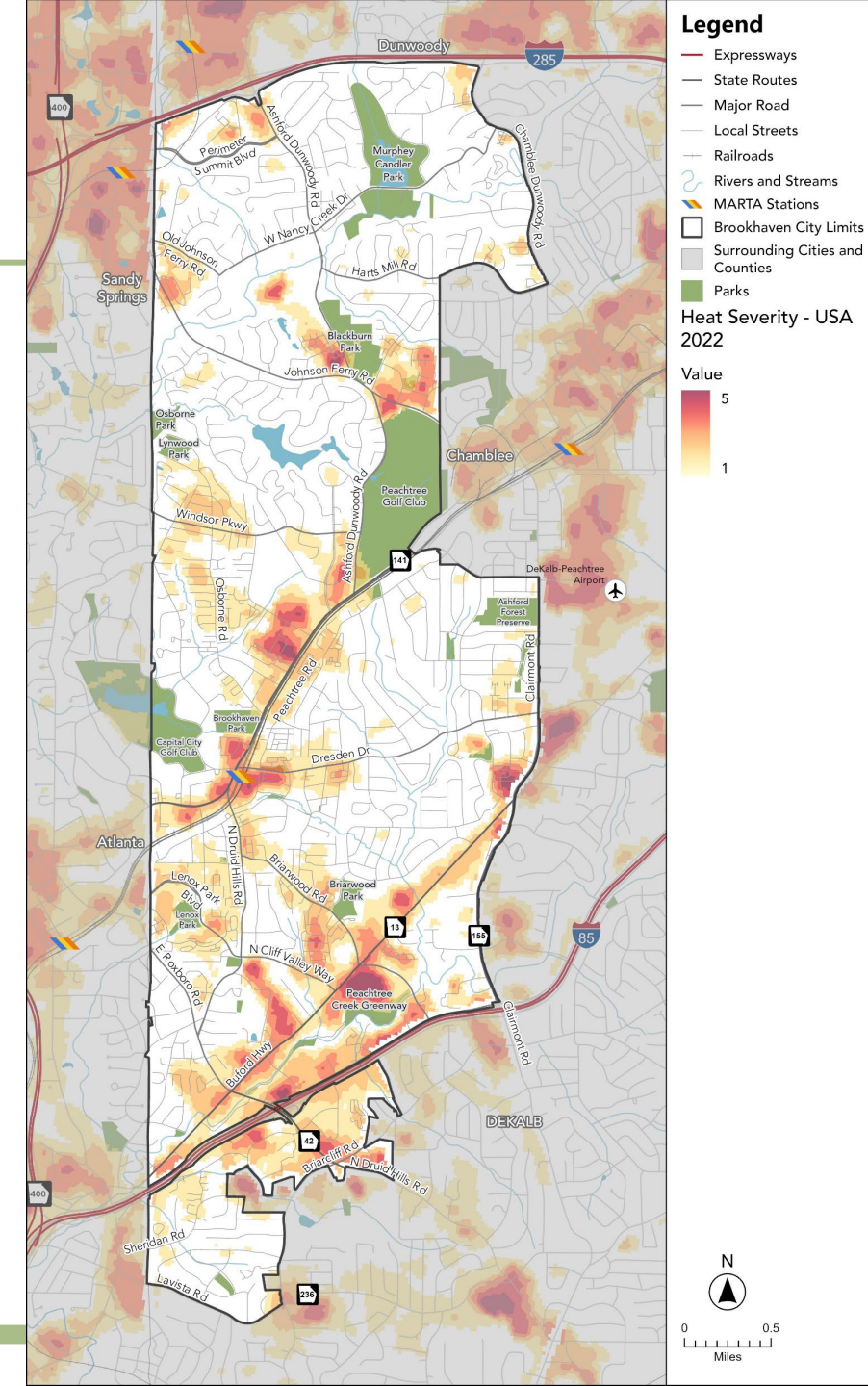


SUSTAINABILITY

Further a healthy and resilient natural and built environment

New 5-Year Priorities (Bound for 2044)

- » Protect and expand tree canopy.
- » Promote green infrastructure investments (combat urban heat).
- » Create opportunities to expand play places for underserved youth.

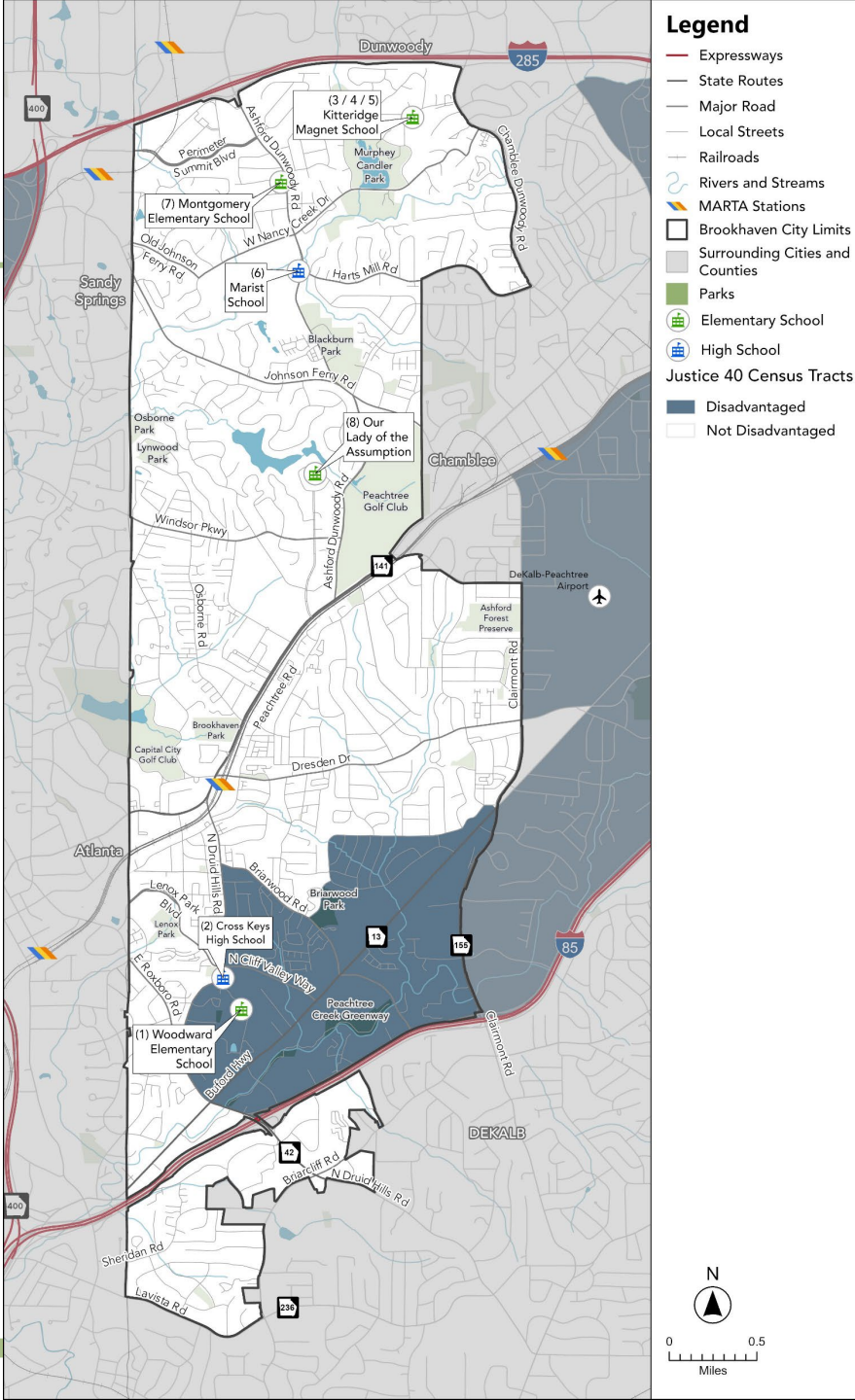


SUSTAINABILITY

» Equity Example

Table 4. Watershed BMP Projects Recommended at Schools

Plan	Map ID	Recommendation	Located in a Justice 40 Census Tract?
North Fork Peachtree Creek WIP	1	Create a series of interconnected bioretention areas in a low-lying nature trail associated with Woodward Elementary School to treat and infiltrate stormwater from the school and streets. Integrate with academic learning at the school.	Yes
North Fork Peachtree Creek WIP	2	Create a bioretention in the frontage along N Druid Hills and N Cliff Valley Way to minimize drainage toward the north side of N Cliff Valley Way at Cross Keys High School.	Yes
Nancy Creek WIP	3	Restoration of 390 linear feet of eroding drainage channel at Kittredge Magnet School leading into a tributary to Murphey Candler Lake.	No
Nancy Creek WIP	4	Provide stormwater management through underground detention associated with upgrades to the existing recreational field and repair to existing drainage at Kittredge Magnet School.	No
Nancy Creek WIP	5	New bioretention or enhanced swale area in front of Kittredge Magnet School.	No
Nancy Creek WIP	6	Support ongoing restoration of the stream buffer along the Marist campus.	No
Nancy Creek WIP	7	Integrate stormwater improvements and recreation field enhancements at Montgomery Elementary School. Underground detention under field an option.	No
Nancy Creek WIP	8	Opportunities to integrate one or more bioretention facilities at the Our Lady of the Assumption Catholic Church. Can be integrated into science curriculum.	No



SUSTAINABILITY

Recently installed or underway initiatives



COMING SOON...

PCG Athletic Field


BrookhavenGa.gov





HOUSING IN BROOKHAVEN 2044

Housing Focus

- » Increasing housing diversity was a key focus of this plan
- » Brookhaven's housing strategy is rooted in the following value:
 - ***Every part of the city has a role to play in addressing the housing challenge***

DIVERSIFICATION APPROACH

- 1 Identify locations ripe for increased housing density
- 2 Explore continued growth of “missing middle housing” and assess zoning and code restrictions
- 3 Establish dedicated funding source(s) and tool(s)

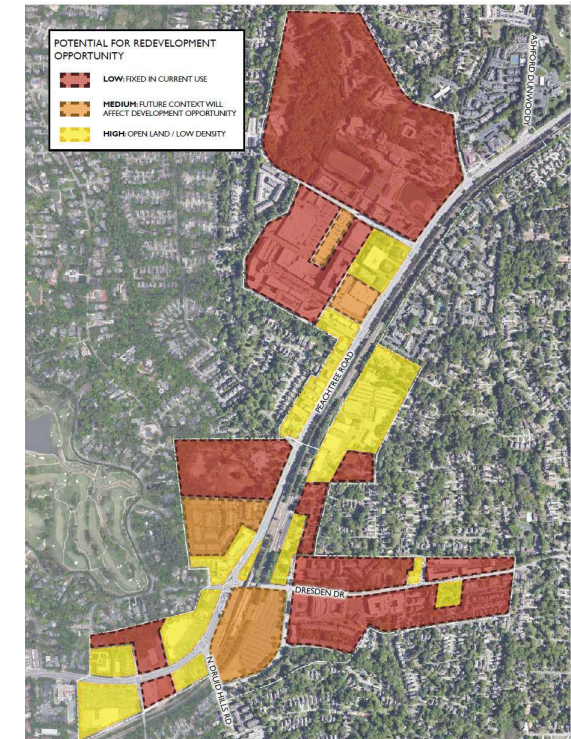


Diversification Approach



1 Identify locations ripe for increased housing density in proximity to transit, retail, recreational facilities, and existing density.

- » Meet new demand created by **Emory at Executive Park and the CHOA campus**
- » Create walkable, urban, live-work-play districts by building on successful mixed-use, **City Centre Master Plan**
- » Center housing density and mixed-use activity hubs close to **MARTA rail line access**
- » Depending on political will, should we consider City-owned property as potential opportunities?



Peachtree Rd Redevelopment Opportunities
2022 City Centre Master Plan



Diversification Approach



- 2 Explore continued growth of “**missing middle housing**” and assess zoning and code restrictions



Why focus on the “missing middle”?

- » Not a lot of existing tools/resources for the City to directly invest in affordable housing
- » Looked at other ways to diversify housing throughout the city
- » Need to disperse housing without affecting neighborhood character and scale
- » We conducted a high-level analysis of where housing diversity might be appropriate
- » **This analysis informs land use policy**



A Little More Missing Middle...

Neighborhood-Scale Housing Diversity:

- » Range of house-scale buildings with multiple units
- » Compatible with traditional single-family homes
- » Offers people more choices and price points
- » Retains character of existing neighborhoods
- » Can include duplexes, fourplexes, cottage courts, and courtyard buildings
- » Typically not allowed in zoning codes
- » Middle of spectrum between single-family and mid/high-rise apartments:
 - Including form, scale, number of units, and affordability



Housing Analysis

MISSING MIDDLE HOUSING TYPE GIS ANALYSIS

Do Brookhaven lot sizes support these missing middle types dimensionally?

1. Identified parcels most likely to develop/redevelop in next 20 years (current land use, ratio of building size to parcel size, percent surface parking, pre-1970 buildings)
2. Tested **only** these parcels for suitability of these housing types according to existing code
3. Tested for reduced setbacks—does it make a difference?
4. **Duplexes are possible in most character areas**

Tested
out policy
changes
too!



Missing Middle Housing Types

- » Five “missing middle” housing types recommended
- » Most aligned with existing residential character
- » Other types still recommended but are already being built - not a big policy need
- » Not every type is appropriate everywhere
- » Assigned at sub-area level based on our **mapping analysis**

ACCESSORY DWELLING UNITS



Total Typical Size:
300-750 SF

Accessory dwelling units (ADUs) are small structures located behind the main home or structure on a lot. They are currently allowed in all single-family residential districts in Brookhaven.

DUPLEXES

Duplexes are buildings that contain two housing units. They usually are designed in one of two forms:



Total Typical Size:
1,200-4,800 SF

Stacked

Stacked duplexes are two units arranged one above the other, and are great for narrow, deep lots.



Side-By-Side

Side-by-side duplexes each have an entry on the street level, and can be one or two stories.

TRIPLEXES

Triplexes are similar to duplexes, except they have three units stacked on top of each other. They can also appear in more configurations.



Total Typical Size:
2,100-9,300 SF

FOURPLEXES

Fourplexes are four-unit buildings, and usually have two units on the ground floor and two units above.



Total Typical Size:
2,000-4,800 SF

COTTAGE COURTS

Cottage courts are a group of smaller footprint, single-family homes arranged around a common space. These homes are perfect for first-time homebuyers and seniors.



Total Typical Size:
500-800 SF

Housing Analysis Example:

DUPLEX/TRIPLEX STACKED

Typical Specifications

- » Allowed in R3
- » 2-3 units
- » Arranged one above the other
- » 2-3 stories
- » 600-2,400 square feet per unit
- » Ideal Lot dimensions:
 - 35 feet wide
 - 100 feet deep
 - About 0.08 acres



Du/Triplex Stacked:

CURRENT CODE

Side-by-Side Duplexes are difficult to build in Brookhaven, but more opportunities exist in:

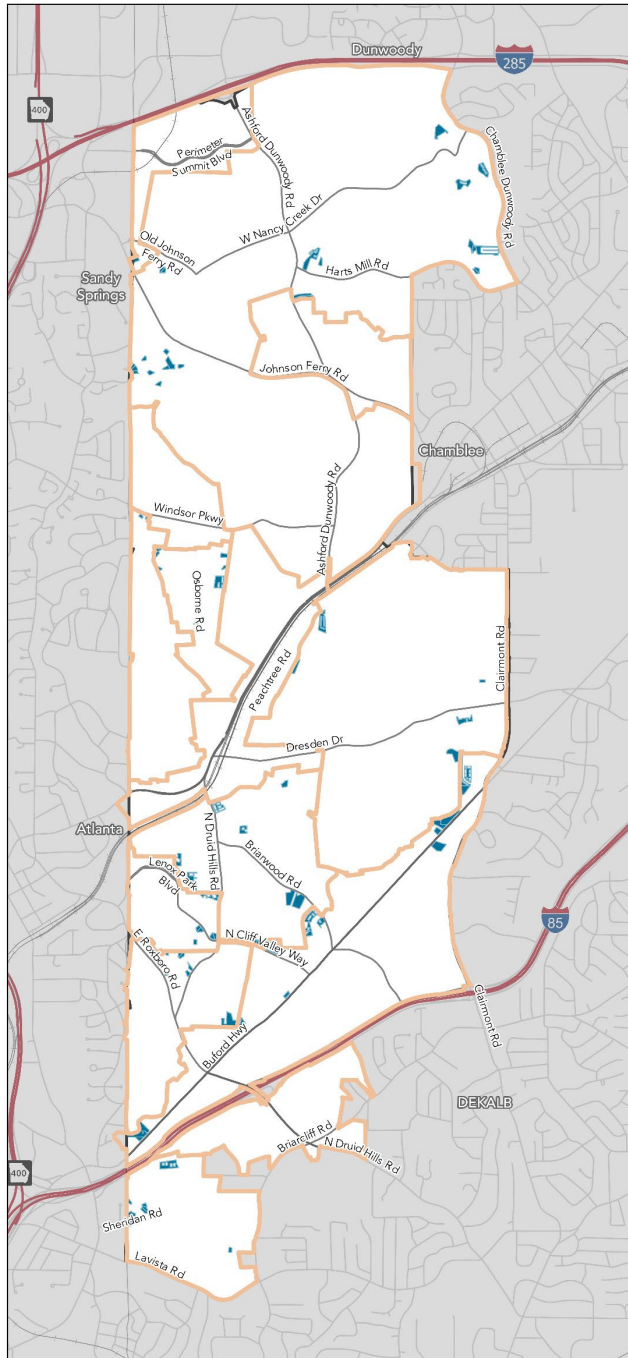
- » The Lakes District
- » Buford Highway-Peachtree Creek Corridor
- » Brookhaven Heights-Brookhaven Fields

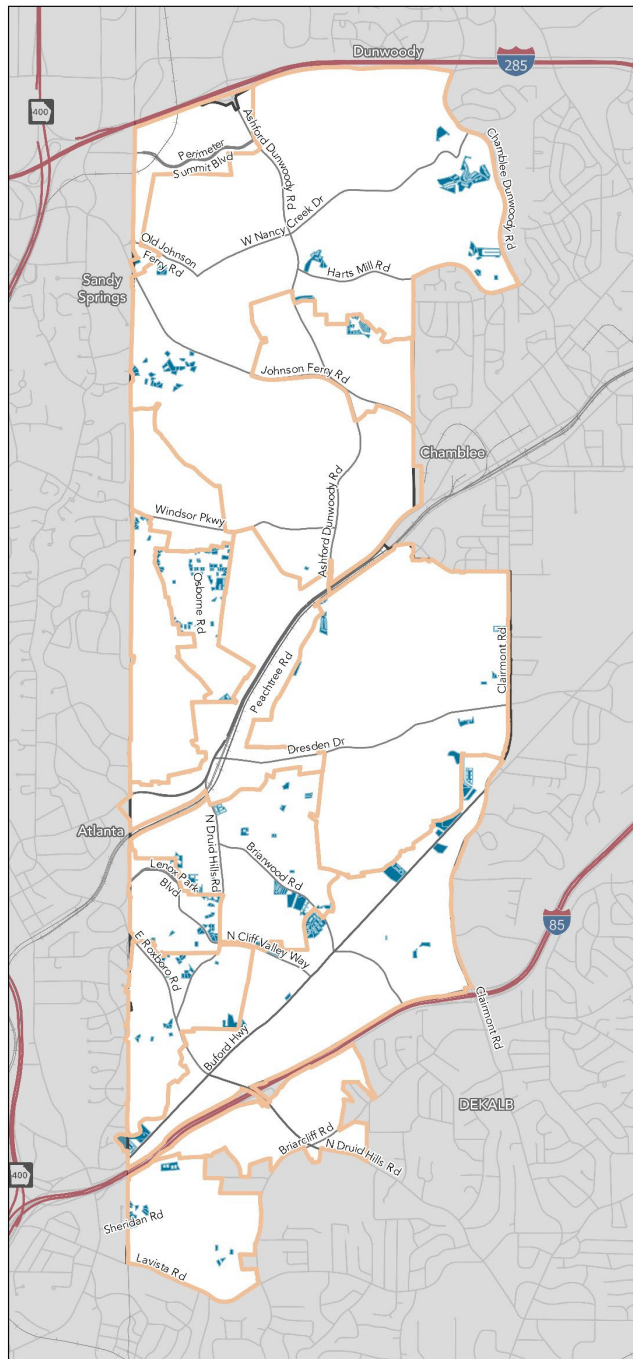
Legend

- Expressways
- State Routes
- Major Road
- Railroads
- Brookhaven City Limits
- Surrounding Cities and Counties
- ▭ Character Areas
- Du/Triplex Stacked Suitability-Current Code

Remember...

These parcels only represent properties that are more likely to redevelop over the next 20 years.





Du/Triplex Stacked:

10-FOOT REDUCTION

With simple policy change of reducing **rear setback requirements by 10 feet...**

» **197** parcels became able to accommodate Stacked Duplexes/Triplexes where they weren't feasible before

Legend

- Expressways
- State Routes
- Major Road
- Railroads
- Brookhaven City Limits
- Surrounding Cities and Counties
- Character Areas
- Du/Triplex Stacked Suitability-10' Reduction

Testing...

While this analysis shows significant impacts, allowing more missing middle housing types was really the first step. Setback/code changes would be a future process.

Missing Middle Approach

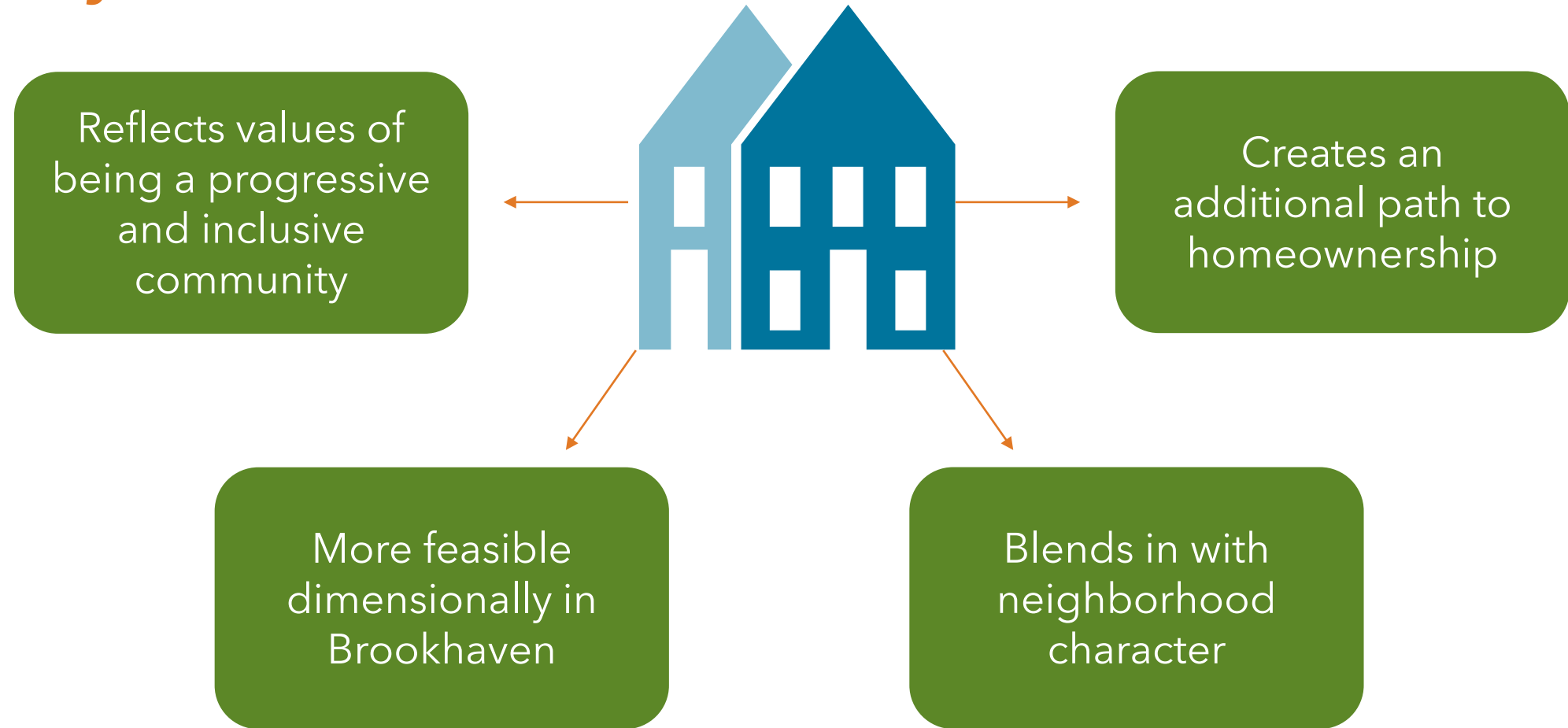


- » Allow duplexes by-right in every character area
- » Adopt “missing middle” design standards simultaneously to ensure duplexes match neighborhood character and mimic single-family homes
- » Duplexes will still have to follow existing setbacks and other code requirements
- » It is just one tool in the toolbox for housing diversity, but a significant next step



Why Duplexes?

Four Key Reasons:



Character Area Example

100 | CITY OF BROOKHAVEN COMPREHENSIVE PLAN

LAVISTA PARK



Vision

A tight-knit community, LaVista Park is a neighborhood of single-family homes and wooded areas that benefit from strong connectivity to nearby retail and job centers. The character area will remain largely the same, particularly in the scale of housing and protecting the tree canopy.

Implementation Strategies

- Continue to work with LaVista Park Civic Association to address community needs
- Evaluate context-sensitive options for traffic calming to reduce cut-through traffic, considering overall traffic flow impacts and creative design solutions.



Focus on Housing

LaVista Park's residential neighborhoods have relatively large lot sizes, which are conducive to the construction of ADUs and duplexes in existing single family districts. Given the existing character, side-by-side duplexes would be more appropriate than stacked. Larger scale opportunities for housing diversification are limited, but there could be redevelopment opportunities for more intensive housing in the **special use area** along Chantilly Drive which runs parallel to I-85.

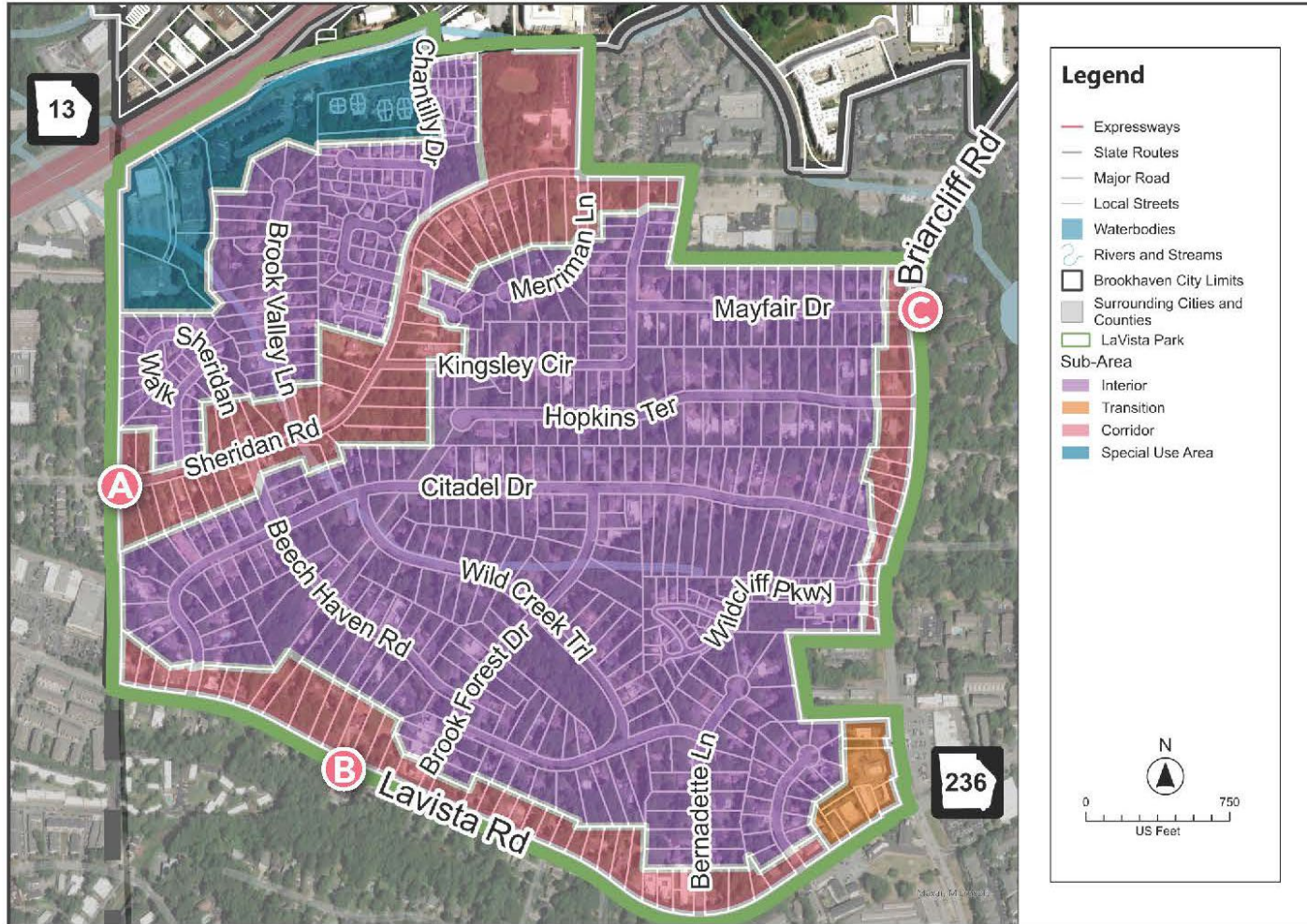


Integrating Housing Diversification in Character Areas:

- » Each character area has a dedicated section on its housing approach
- » Character area split into sub-areas, adds nuance to land use policy
- » Sub-area land use tables call out appropriate housing types specifically—further emphasizing the plan's focus on housing



Land Use Tables



*Does not include all land use tables

Interior		
Appropriate Housing Types:	Best-Fit Zoning:	Implementation Actions/Strategies:
<ul style="list-style-type: none"> Single Family + ADU Duplexes (side-by-side preferred) 	<ul style="list-style-type: none"> All RS 	<ul style="list-style-type: none"> Require duplexes to adhere to design standards allowed by-right in all residential districts Add neighborhood traffic circle at Beech Haven Road and Citadel Drive*
Other Land Uses:		
<ul style="list-style-type: none"> Parks and Open Space Institutional 		

A Corridor: Sheridan Road		
Appropriate Housing Types:	Best-Fit Zoning:	Implementation Actions/Strategies:
<ul style="list-style-type: none"> Single Family + ADU Duplex Triplex 	<ul style="list-style-type: none"> All RS R3 RSA-5 RSA-8 	<ul style="list-style-type: none"> Require duplexes to adhere to design standards allowed by-right in all residential districts Install sidepath and pedestrian crossing on Sheridan Road*
Other Land Uses:		
<ul style="list-style-type: none"> Parks and Open Space Institutional 		

Transition: Northwest Corner of Briarcliff Road and LaVista Road		
Appropriate Housing Types:	Best-Fit Zoning:	Implementation Actions/Strategies:
<ul style="list-style-type: none"> N/A 	<ul style="list-style-type: none"> NS C-1 	<ul style="list-style-type: none"> N/A
Other Land Uses:		
<ul style="list-style-type: none"> Neighborhood Commercial Community Commercial 		

Special Use Area: Chantilly Drive		
Appropriate Housing Types:	Best-Fit Zoning:	Implementation Actions/Strategies:
<ul style="list-style-type: none"> Townhouses Multi-Family 	<ul style="list-style-type: none"> All RSA RM-14 RM-18 	<ul style="list-style-type: none"> Explore additional incentives for developers to build out affordable and workforce housing, specifically around new commercial developments near I-85. Install sidewalk along Chantilly Drive*
Other Land Uses:		
<ul style="list-style-type: none"> Office Hotel Parks and Recreation Institutional 		

Diversification Approach



3 Establish **dedicated funding source(s) and tool(s)**

- » Evaluate the feasibility of **creating a Land Trust** for the provision of workforce housing
- » Evaluate City's resources to create and manage a **dedicated funding source for affordable housing**.
- » **Explore other incentives** for preservation of naturally occurring affordable housing and building out of affordable and workforce housing.



Source: Town of Blacksburg, VA





IMPLEMENTATION

2025 Sustainable Brookhaven Initiatives

NATURAL ENVIRONMENT

- » Working toward full certification as a **Community Wildlife Habitat** through the National Wildlife Federation
- » **Student Capstone Projects** to implement Nancy Creek Watershed Improvement Plan
- » **Special Item Recycling Program** – partnership with City of Chamblee, Keep Chamblee Beautiful, and Center for Hard to Recycle Materials (CHaRM)



Housing Initiatives



Affordable Housing Task Force

- **Recommendation #1** – Position the City as a Community Resource. Ongoing
- **Recommendation #2** – Support a suitable living environment as a part of affordable housing choice. Ongoing
- **Recommendation #3** – Position the City as a desirable partner with developers in Federal Low-Income Housing Tax Credits (LITHTC) programs. Next Steps
- ✓ **Recommendation #4** – Require a developer affordability impact statement. Complete
- **Recommendation #5** – Explore creative innovations and cross-sector solutions to protect affordable housing, as well as ensure its place in the mix of the city long-term. Ongoing
- ✓ **Recommendation #6** – Incorporate affordable housing into the 2018 Zoning Ordinance Rewrite. Complete
- **Recommendation #7** – Work beyond municipal boundaries to provide regional solutions. Ongoing



Brookhaven's Workforce Housing Strategy – Zoning Ordinance Rewrite

- **Mandatory Workforce Housing Requirement** - restricts at least 10 percent of new dwelling units in a residential housing project approved by the city for rezoning of property or a special land use permit as workforce housing.
- **Required Agreements - Land Use Restriction Agreement (LURA)** - This documents serves as a binding document that restricts occupancy as workforce housing units for at least 20 years.
 - Staff worked with City Attorney to draft this document.
 - Upcoming Rental Projects with workforce housing component shall provide this agreement prior to the issuance of certificates of occupancy.
- **Density Credits**
 - By-Right density credit for setting aside 20% workforce in the Peachtree Road Overlay.
 - By-Right density credit for setting aside 10% workforce in the Buford Highway Overlay.
- **Removed Minimum Housing Sizes From All Zoning Classifications**
- **Modified Duplexes, Triplexes and Quadplexes Regulations**
- **Created 2 New Zoning Classifications - Cottage Courts and Master Plan Development (MPD)**
 - MPD one of the application thresholds is restricting 20% of the housing units for 20 years as work force housing.



Brookhaven's Workforce Housing Strategy – Zoning Ordinance Rewrite

Accessory Dwelling Units

- ADU and Secondary Suites
 - Provides a diversity of housing opportunities in single-family neighborhoods.
 - Offers a housing option for aging parents, young adult children or caregivers to support aging in place, off set housing cost.
 - Allowed in all single-family residential zoning districts if lot size, setback requirements and impervious coverage are met.
- December 2023 text amendment
 - Changed name, Allowed 5% additional lot coverage, clarified size requirements.



Brookhaven's Workforce Housing Strategy

Affordable Housing Impact Statements -

- Developers shall provide affordable housing impact statements for residential housing projects submitted for rezoning, special land use permits, and permitting processes to include land disturbance and building permits.
- Documents will quantify and provide a record of the proposed impact on the existing affordable housing inventory in the city.
- This component was added to rezoning and special land use permit applications. Documents shall be included with staff recommendations to Planning Commission and City Council.



Brookhaven's Workforce Housing Strategy

Community Resource

- Affordable Housing Strategy Website –
 - <https://www.brookhavenga.gov/commdev/page/affordable-housing-strategy>
 - Public Resource page provides information on affordable housing resources, options and opportunities.
 - Website is available for viewing in both English and Spanish.



Upcoming Residential Developments

- Residential Projects with workforce housing component

Project Name	Total # of Units	Total # of Workforce Housing Units (10%)	Status
AMLI – Lake Hern Dr	630	63	Under Construction
Bellamy- Executive Park	345	35	Complete
Manor Druid Hills- Briarcliff Rd	383	38	LDP
Panorama	205	21	Rezoned
Corporate Square	900±	90±	Rezoning Process



Affordable Housing Project



Affordable Housing Project

- » Development Authority approved an Intergovernmental Agreement (IGA) with the DeKalb County Housing Authority to develop the property as 100% affordable housing.
 - Housing Authority applied to DCA for a Federal Low-Income Housing Tax Credits (LITHTC) program.
- » City put out an RFP to several banks for a private placement.
- » Financed with a 5-year interest only loan with a balloon payment at the end of the term for redevelopment opportunity
 - When the property was purchased, it had an income producing tenant.



Affordable Housing Project

- » 1.95 Acres
- » Master Planned Development (MPD)
- » 120 Units
- » 100% Affordable Housing
- » Developed and Managed by DeKalb County Housing Authority



Next Steps

- The City will continue to explore opportunities to incorporate workforce and affordable housing concepts, policies and regulations.
 - **Workforce Housing Text Amendment** –Provide regulations for owner-occupied units or for-sale housing to include single-family residential, townhomes, and condominiums.
 - **Partner with Federal Low-Income Housing Tax Credit (LIHTC) Program**
- Comprehensive Plan
 - Allowing Duplexes and Triplexes by-right in corridors
- Zoning Reviews/Audits



Contact Us



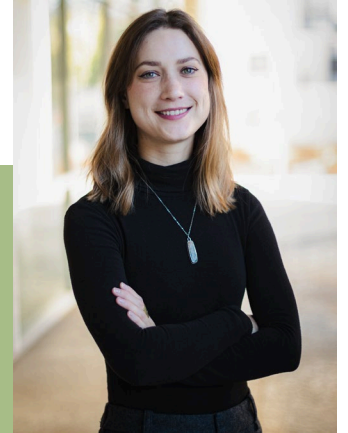
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